



**51.15 ACRES
IN NORTHEASTERN PA!**

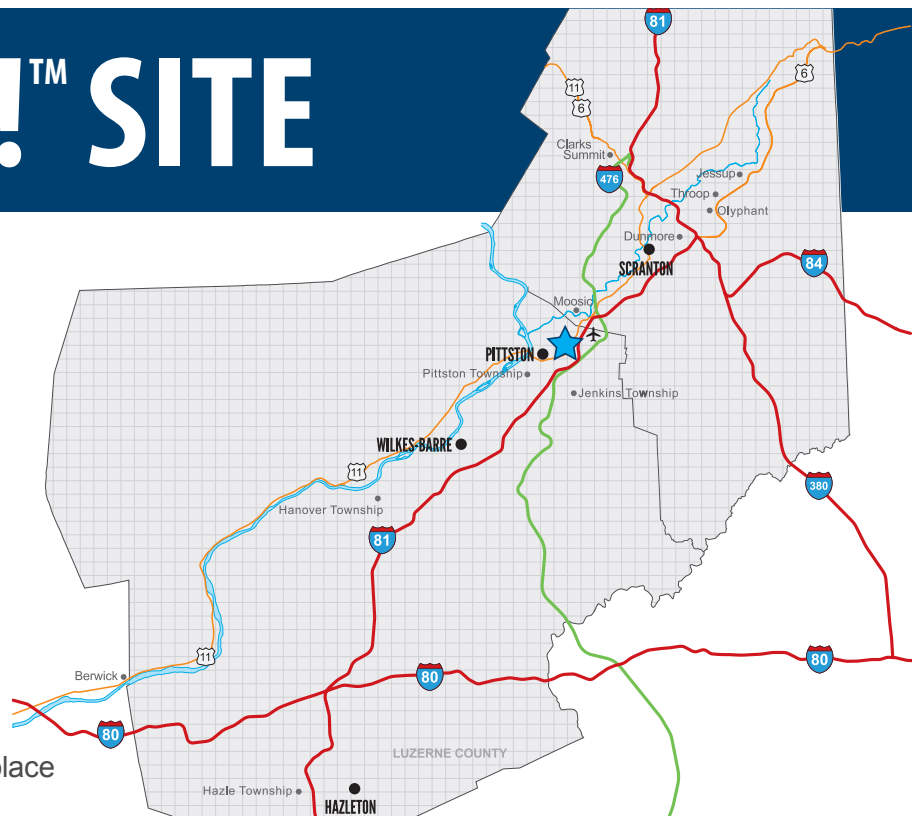
DESIGNED FOR
507,600 SF

250 ENTERPRISE WAY
CENTERPOINT COMMERCE & TRADE
PARK WEST, PITSTON TOWNSHIP, PA
EXIT 175 OF I-81

READYToGo!™ SITE

SITE FEATURES

- Immediately off I-81 at exit 175
- Immediately off I-476 at exit 115
- 10 year 100% real estate tax abatement on improvements (LERTA)
- Cleared & graded, compacted stone sub-base finished
- NPDES permitted
- Subdivision approved
- Land development approved
- Industrially zoned
- Public water, sewer, natural gas, power & fiber in place



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East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

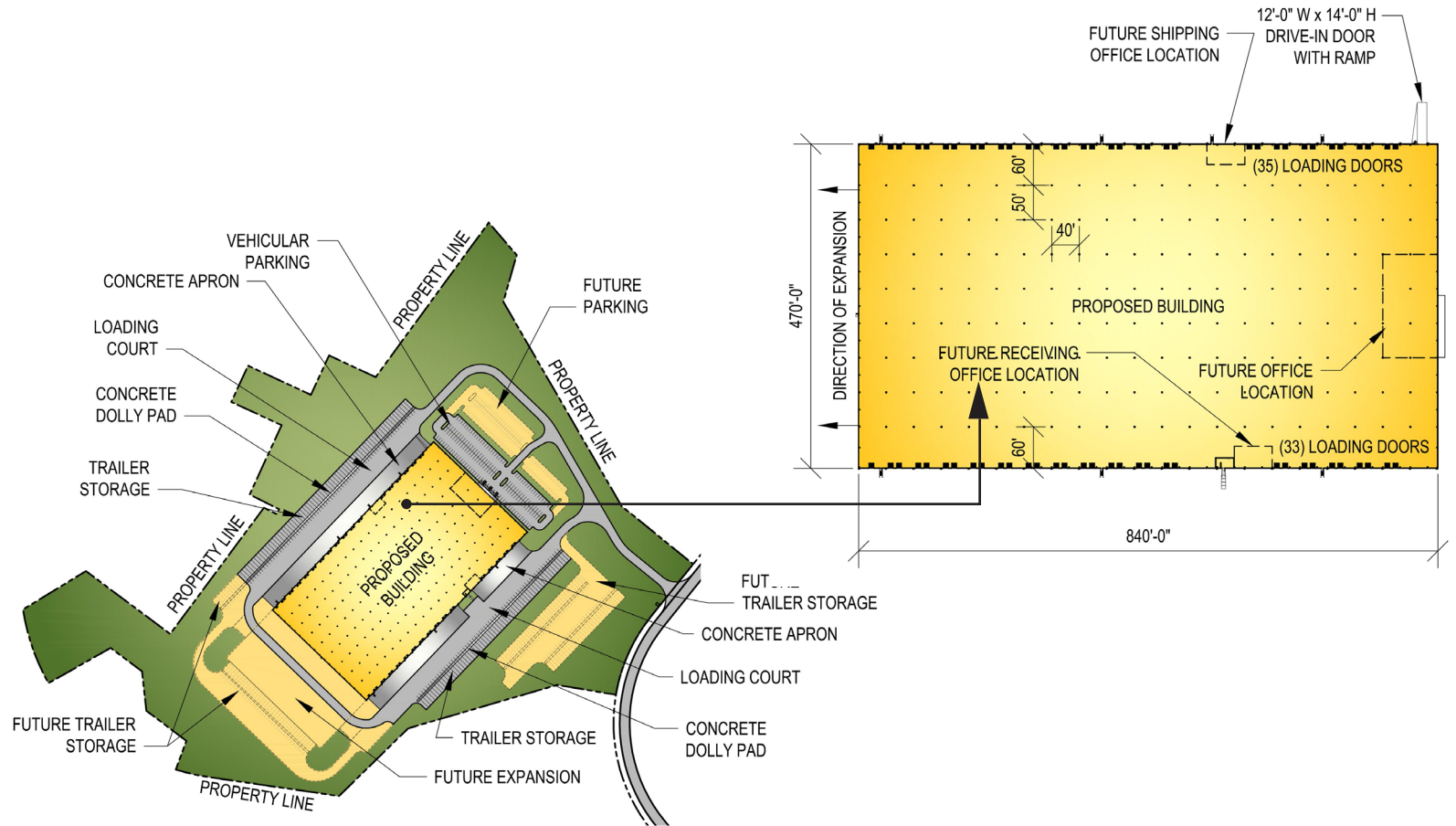
250 ENTERPRISE WAY

CENTERPOINT COMMERCE & TRADE
PARK WEST, PITTSTON TOWNSHIP, PA
EXIT 175 OF I-81

UP TO

507,600 SF

ON 51.15 ACRES IN NORTHEASTERN PA!



PROPOSED BUILDING IMPROVEMENTS

- 394,800 square feet - 840'(length) x 470'(width)
- Expandable to 507,600 square feet
- 31'6" - 36'6" ceiling clear height
- 40'x 50' bay spacing with a 60' deep staging bay
- 6" reinforced concrete floor
- MR24 standing seam roof system
- (68) 9'x 10' vertical lift dock doors
- (1) 12'x 14' vertical lift drive-in door

PROPOSED UTILITIES & SYSTEMS

- Energy efficient Cambridge direct fire unit heating system
- 277/480V 3 Phase 800A electric
- Energy efficient fluorescent T-bay lighting
- ESFR fire protection
- Provisions for domestic water and natural gas
- All utilities shall be separately metered

PROPOSED SITE IMPROVEMENTS

- On-site parking for approximately 174 vehicles
- On-site trailer storage for approximately 138 trailers
- Asphalt paving, heavy duty pave in truck areas
- 8" thick reinforced concrete dock apron
- 8' wide concrete dolly pad at trailer storage area
- Professionally prepared landscape design

ADDITIONAL FEATURES

- Rail service possible
- Foreign Trade Zone status for international trade
- Located near FedEx and UPS
- More than 470,000 people live within 20 miles
- 10 year 100% real estate tax abatement on improvements

Northeastern Pennsylvania is the center of the Boston/ Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380 and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.

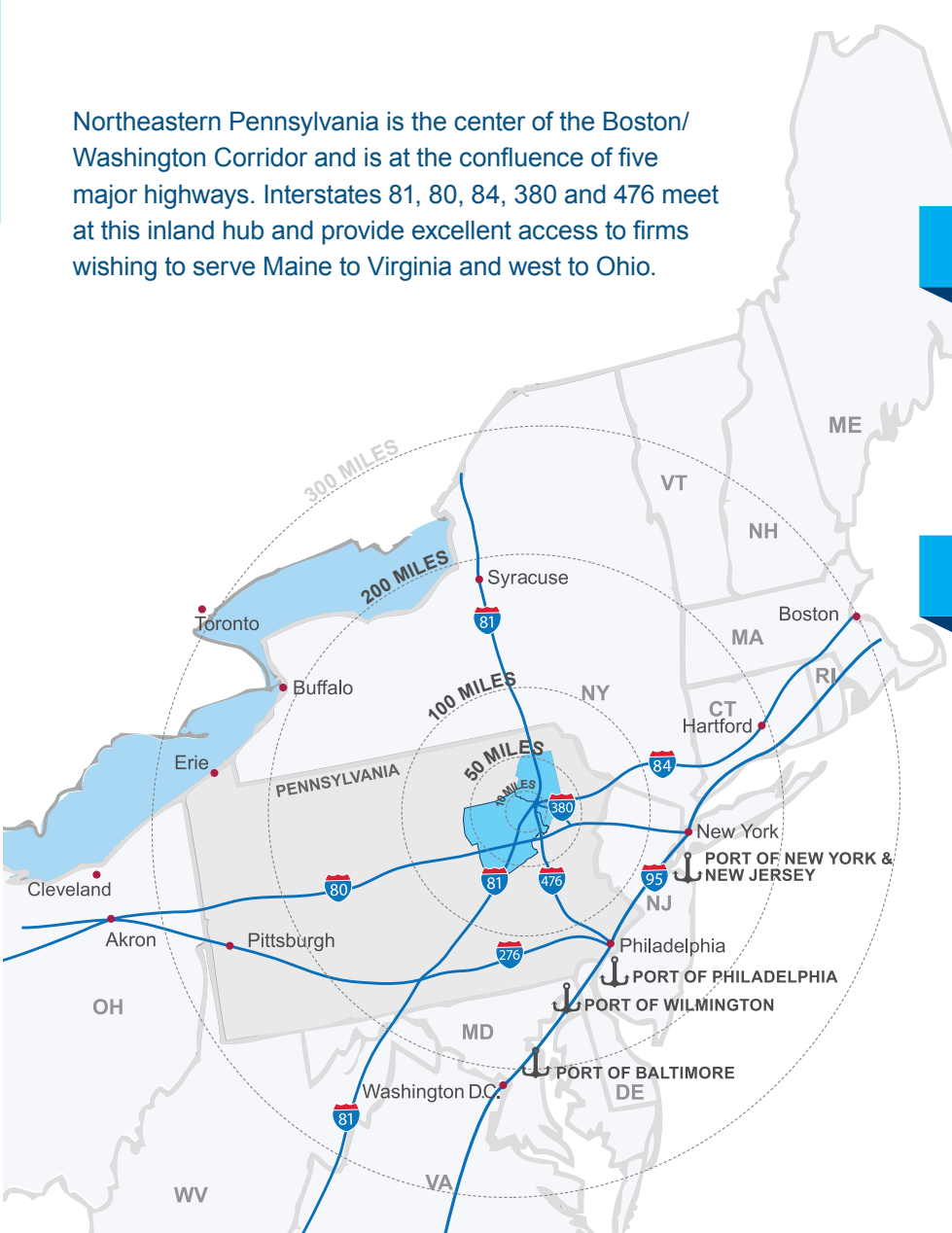
CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR

Deep Water Ports

PORT	MI	KM
Philadelphia	120	193
New York/New Jersey	121	195
Wilmington	132	212
Baltimore	191	307

Travel Distances

CITY	MI	KM
Delaware Water Gap, PA	57	92
Allentown, PA	67	108
Morristown, NJ	96	155
Philadelphia, PA	113	182
Harrisburg, PA	116	187
Port Newark, NJ	126	203
New York, NY	128	206
Syracuse, NY	152	245
Baltimore, MD	194	312
Hartford, CT	198	319
Washington, DC	237	381
Pittsburgh, PA	290	467
Boston, MA	301	484



CLEARED
& GRADED

EMPLOYMENT DATA

MORE THAN 470,000 PEOPLE LIVE WITHIN 20 MILES OF CENTERPOINT

YEAR	CIVILIAN LABOR FORCE	EMPLOYMENT	UNEMPLOYMENT	UNEMPLOYMENT RATE
2014	263,400	245,000	18,400	7.0%
2013	268,200	244,000	24,200	9.0%
2012	273,800	247,400	26,400	9.6%
2011	267,500	242,300	25,200	9.4%
2010	266,800	241,300	25,600	9.6%

Source: www.paworkstats.state.pa.us



**DIRECTIONS TO CENTERPOINT
COMMERCE & TRADE PARK WEST:**

Traveling North on I-81 - Take Exit 175 (Pittston/Route 315 North). Make the first left at the light at auto dealership. Drive 1/4 mile, entrance is on the right.

Traveling South on I-81 - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first light. Turn right. Drive 1/4 mile, entrance is on the right.

Traveling on I-476 (PA Turnpike) - Take Exit 115 (Wyoming Valley). Follow Rt. 315 south 1/2 mile to first light. Turn right. Drive 1/4 mile, entrance is on the right.

LERTA APPROVED

10 YEAR 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS (LERTA)

Sample LERTA savings based upon 507,600 SF building. Actual real estate taxes will vary depending upon the cost of construction required to meet a tenant's exact specifications.

YEAR	TAX RATE (\$/SF)	ABATEMENT %	PROPERTY TAX DUE ON IMPROVEMENTS	PROPERTY TAX SAVINGS
1	.52	100%	.00	263,952.00
2	.54	100%	.00	274,104.00
3	.56	100%	.00	284,256.00
4	.58	100%	.00	294,408.00
5	.60	100%	.00	304,560.00
6	.62	100%	.00	314,712.00
7	.64	100%	.00	324,864.00
8	.66	100%	.00	335,016.00
9	.68	100%	.00	345,168.00
10	.70	100%	.00	355,320.00
TOTALS			\$0.00	\$3,096,360.00



51.15 ACRES

250 Enterprise Way

CenterPoint Commerce & Trade Park West
Pittston Township, Pennsylvania

Mericle Commercial Real Estate Services can construct your building faster than any other developer along Northeastern Pennsylvania's I-81 Corridor.

GUARANTEED.

Select a *ReadyToGo!™* Site, and we'll have your building ready for occupancy within months of lease signing.

DEVELOPMENT DIVISION:

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PHOTO COLLAGE

250-298 ENTERPRISE WAY
CENTERPOINT COMMERCE & TRADE PARK WEST
PITTSBURGH, PENNSYLVANIA

Population

Within 10 Miles – 243,726

Within 20 Miles – 463,748



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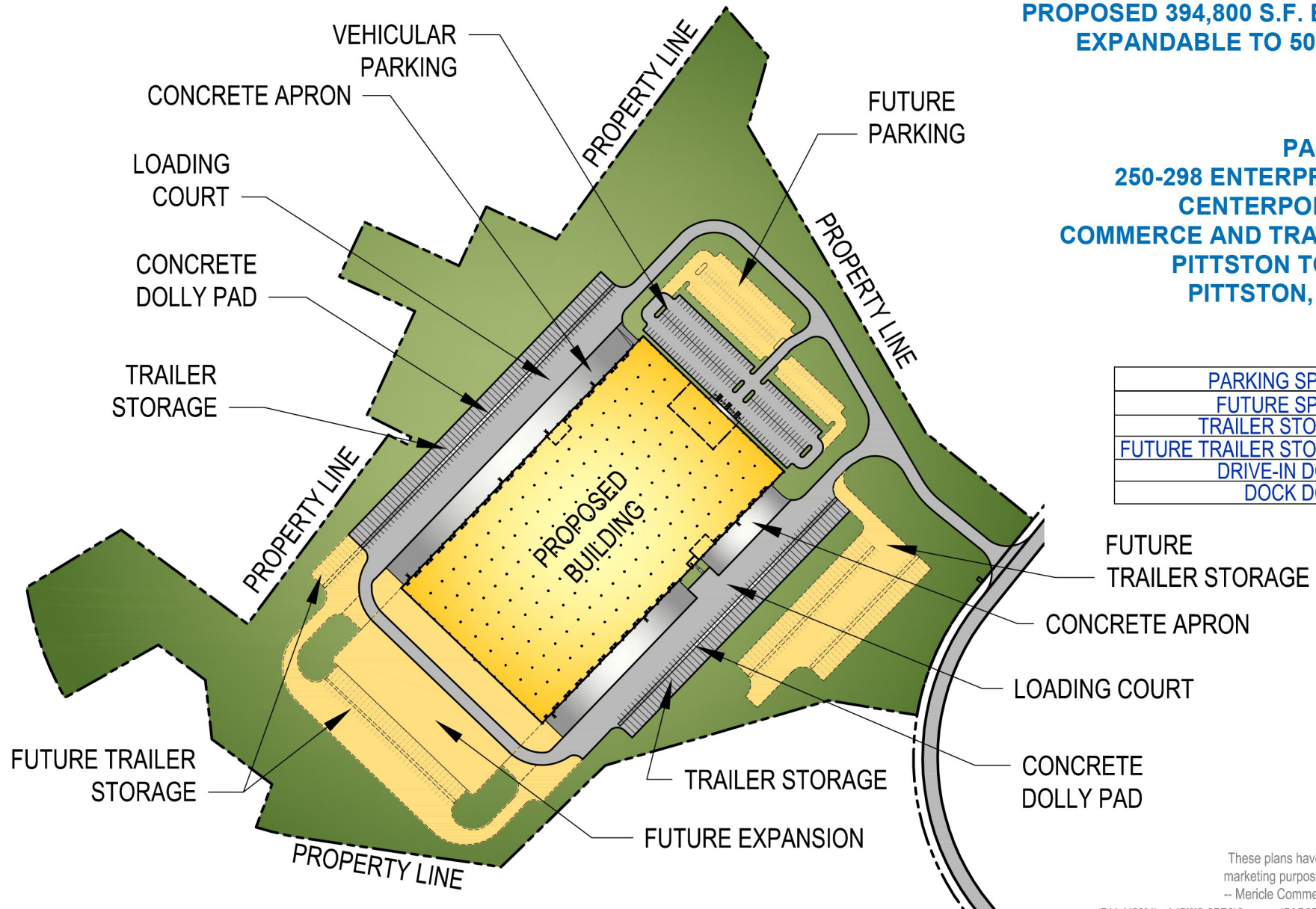
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CONCEPTUAL SITE PLAN

**PROPOSED 394,800 S.F. BUILDING
EXPANDABLE TO 507,600 S.F.**

**PARCEL #13
250-298 ENTERPRISE WAY
CENTERPOINT WEST
COMMERCE AND TRADE PARK
PITTSTON TOWNSHIP
PITTSTON, PA 18640**



PARKING SPACES	174
FUTURE SPACES	136
TRAILER STORAGE	136
FUTURE TRAILER STORAGE	114
DRIVE-IN DOORS	1
DOCK DOORS	68

These plans have been prepared solely for
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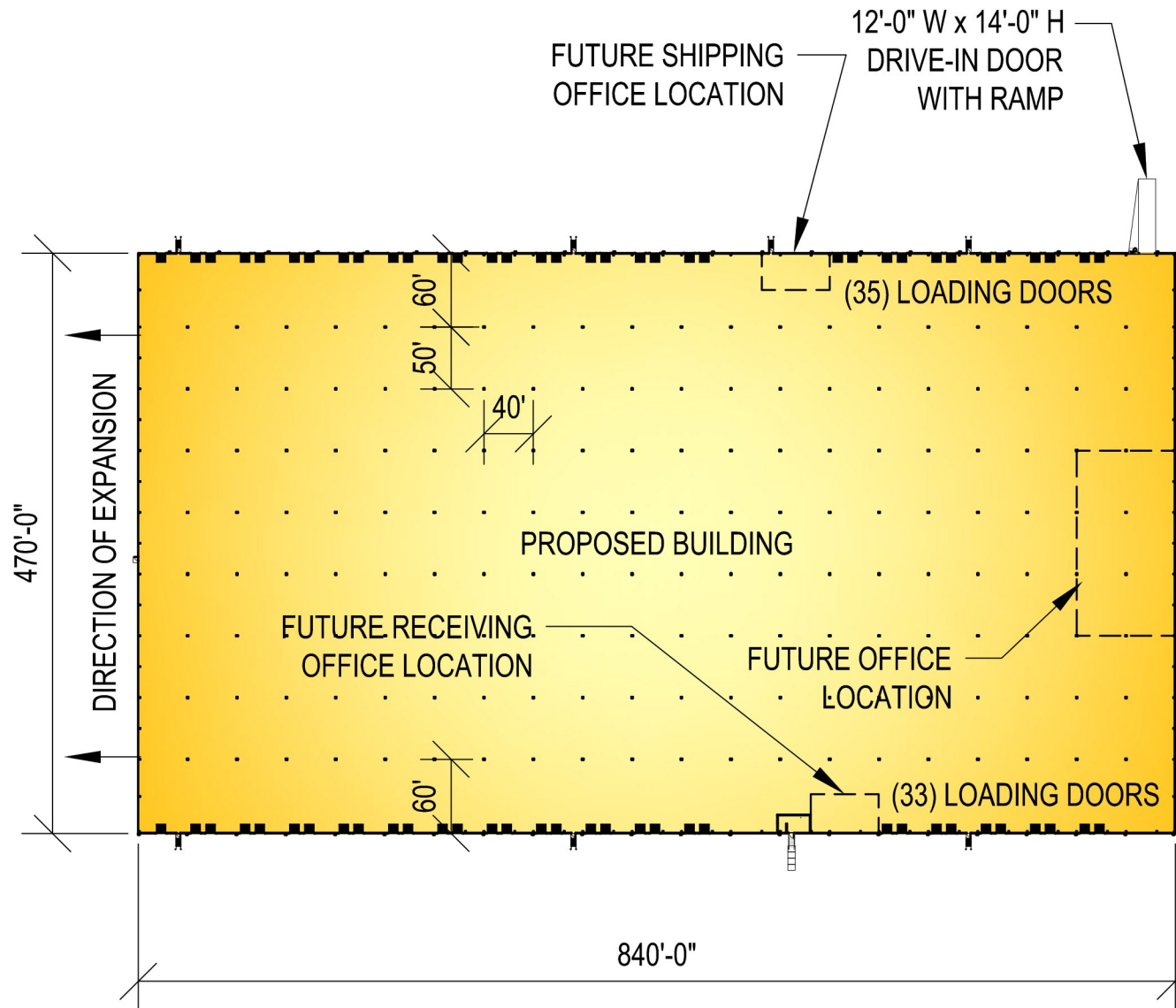
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CONCEPTUAL FLOOR PLAN

**PROPOSED 394,800 S.F. BUILDING
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PITTSTON, PA 18640**



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CENTERPOINT WEST
COMMERCE AND TRADE PARK
PITTSTON TOWNSHIP
PITTSTON, PA 18640**

SITE IMPROVEMENTS

- ON-SITE PARKING FOR APPROXIMATELY 174 VEHICLES AND 136 FUTURE SPACES.
- ON-SITE TRAILER STORAGE FOR APPROXIMATELY 136 TRAILERS AND 114 FUTURE SPACES.
- 8" THICK REINFORCED CONCRETE APRON AT LOADING DOCK
- 8' WIDE CONCRETE DOLLY PAD AT TRAILER STORAGE AREA.
- ASPHALT PAVING INCLUDING HEAVY DUTY PAVE IN TRUCK AREAS.
- PROFESSIONALLY PREPARED LANDSCAPE DESIGN.
- SITE CONTAINS APPROXIMATELY 51.15 ACRES.

BUILDING IMPROVEMENTS

- BUILDING SHALL CONTAIN 394,800 SQUARE FEET.
- BUILDING DIMENSIONS SHALL BE 840' (LENGTH) X 470' (DEPTH).
- 40' X 50' BAY SPACING WITH A 60' DEEP STAGING BAY AT THE LOADING DOCK.
- 6" THICK CONCRETE FLOOR SLAB REINFORCED WITH WELDED STEEL MATS.
- MR24 STANDING SEAM ROOF SYSTEM.
- EXTERIOR WALL SYSTEM SHALL CONSIST OF ARCHITECTURAL MASONRY, ALUMINUM/GLAZING ENTRANCE SYSTEMS AND INSULATED METAL WALL PANELS.
- THE BUILDING SHALL CONTAIN (68) 9'-0" X 10'-0" VERTICAL LIFT DOCK DOORS WITH 30,000 LB CAPACITY RITE-HITE MECHANICAL LEVELERS WITH BUMPERS.
- THE BUILDING SHALL CONTAIN (1) 12' X 14' VERTICAL LIFT DRIVE-IN DOOR WITH ACCESS RAMP.
- 31'-6" CLEAR STRUCTURAL HEIGHT ALONG LOADING WALLS AND 36'-6" CLEAR AT BUILDING RIDGE.

UTILITIES AND BUILDING SYSTEMS

- HEATING SYSTEM SHALL BE ENERGY EFFICIENT CAMBRIDGE DIRECT FIRED UNITS.
- ELECTRICAL SERVICE SHALL BE A 277/480 V 3 PHASE 800A EXPANDABLE TO 4000A
- INTERIOR LIGHTING SHALL BE ENERGY EFFICIENT FLUORESCENT T-BAY FIXTURES WITH LIGHTING LEVELS OF 18 -22 FC AVERAGE.
- FIRE PROTECTION SYSTEM SHALL BE AN EARLY SUPPRESSION FAST RESPONSE (ESFR) WET SPRINKLER SYSTEM.
- PROVISIONS FOR DOMESTIC WATER AND NATURAL GAS SHALL BE PROVIDED.
- ALL UTILITIES SHALL BE SEPARATELY METERED.

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