



SAMPLE BUILDING

4.06 ACRES
IN NORTHEASTERN PA!

DESIGNED FOR
32,500 SF

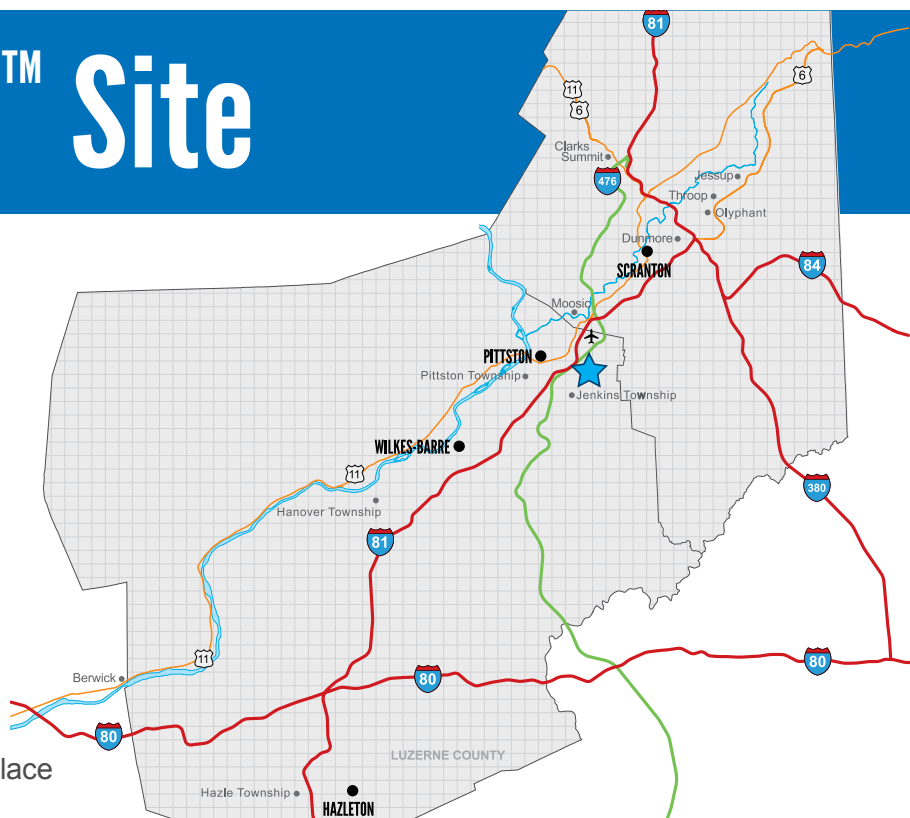
395 ENTERPRISE WAY
PARCEL 7B

CENTERPOINT COMMERCE & TRADE
PARK WEST, PITTSBURGH TOWNSHIP, PA
EXIT 175 OF I-81

ReadyToGo!™ Site

SITE FEATURES

- Immediately off I-81 at exit 175
- Immediately off I-476 at exit 115
- 10 year 100% real estate tax abatement on improvements (LERTA)
- Cleared & graded, compacted stone sub-base finished
- NPDES permitted
- Subdivision approved
- Land development approved
- Industrially zoned
- Public water, sewer, natural gas, power & fiber in place



570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

395 ENTERPRISE WAY

CENTERPOINT COMMERCE & TRADE
PARK WEST, PITTSBURGH TOWNSHIP, PA
EXIT 175 OF I-81

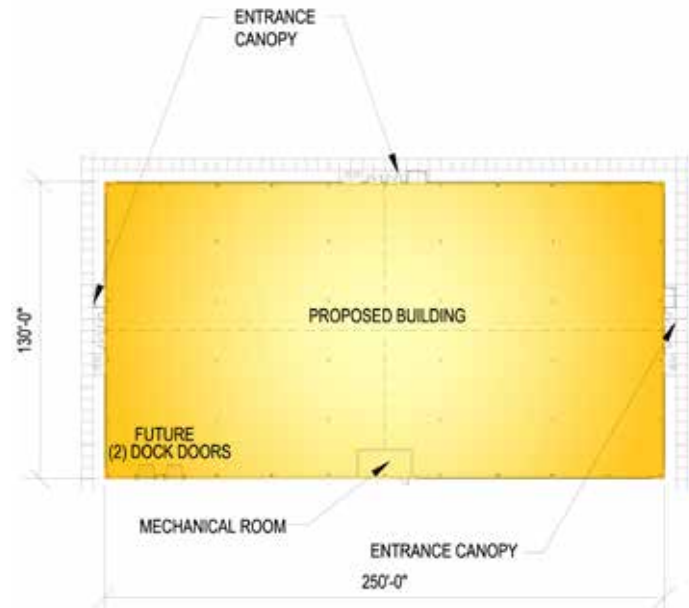
UP TO

32,500 SF ON 4.06 ACRES
IN NORTHEASTERN PA!

PROPOSED SITE PLAN FOR 32,500 SF



PROPOSED FLOOR PLAN FOR 32,500 SF



SPECIFICATIONS

PROPOSED BUILDING IMPROVEMENTS

- Proposed 32,500 SF (250' x 130') Class A office facility on approximately 4.06 acres
- Can be subdivided as small as 8,125 SF
- Two (2) 8'-6" w x 9'-6" h vertical lift, insulated steel loading doors w/30,000 lb. capacity mechanical levelers w/bumpers
- Mericle Premium office finishes
- 4" thick reinforced concrete floor

PROPOSED UTILITIES & SYSTEMS

- Individually controlled packaged gas/electric HVAC units
- 225-400 amp, 120/208 volt, 3-phase electrical service
- 2' x 4' fluorescent lighting with parabolic lenses
- Light Hazard Wet sprinkler system

- Provisions for domestic water and natural gas
- All utilities shall be separately metered

PROPOSED SITE IMPROVEMENTS

- On-site parking for approximately 163 vehicles
- Asphalt paving
- Professionally prepared landscape design

ADDITIONAL FEATURES

- Foreign Trade Zone status for international trade
- Located near FedEx and UPS for additional shipping access
- Centrally located within Scranton/Wilkes-Barre labor market
- 10 year 100% real estate tax abatement on improvements (LERTA)

Northeastern Pennsylvania is the center of the Boston/Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380 and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.

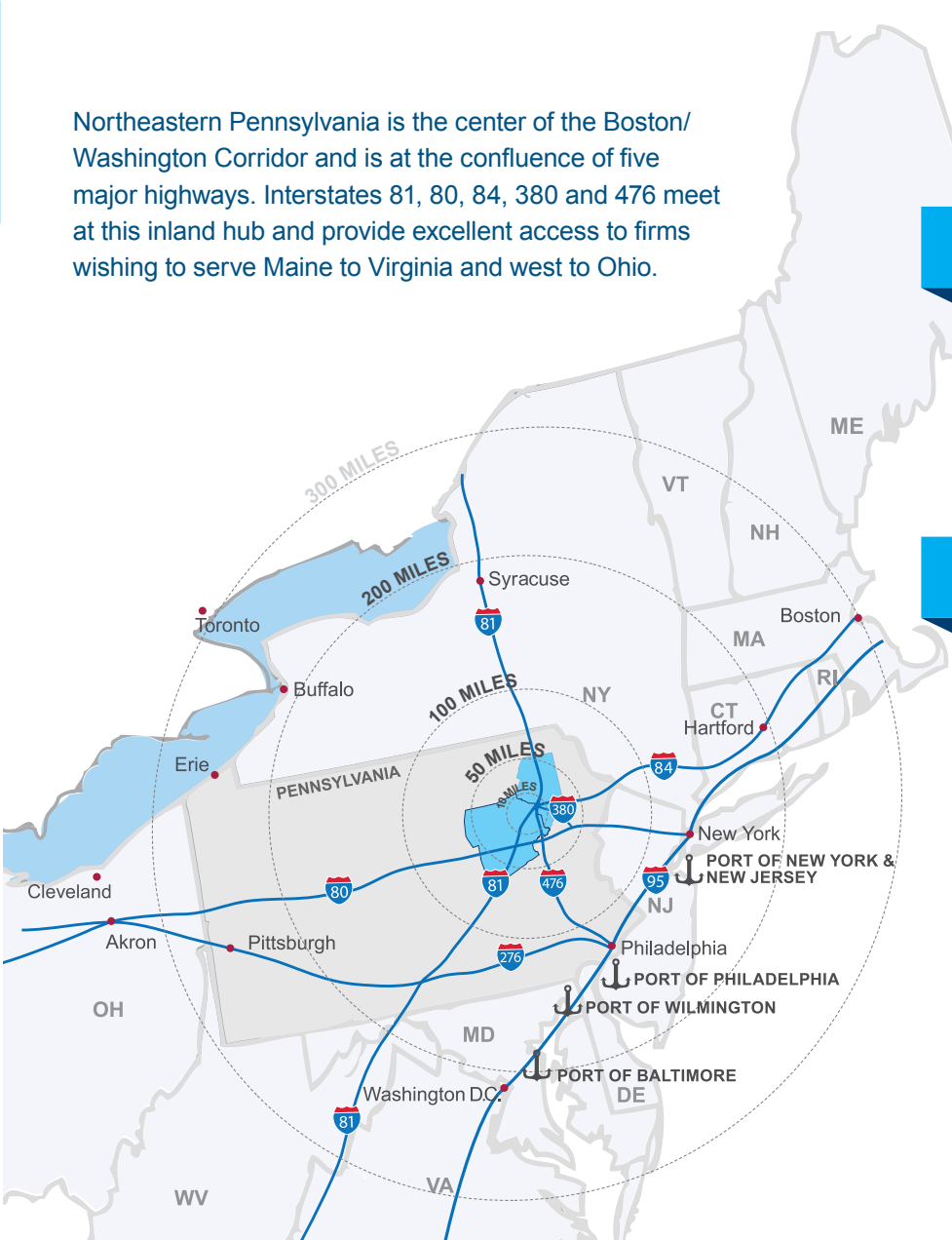
CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR

Deep Water Ports

PORT	MI	KM
Philadelphia	120	193
New York/New Jersey	121	195
Wilmington	132	212
Baltimore	191	307

Travel Distances

CITY	MI	KM
Delaware Water Gap, PA	57	92
Allentown, PA	67	108
Morristown, NJ	96	155
Philadelphia, PA	113	182
Harrisburg, PA	116	187
Port Newark, NJ	126	203
New York, NY	128	206
Syracuse, NY	152	245
Baltimore, MD	194	312
Hartford, CT	198	319
Washington, DC	237	381
Pittsburgh, PA	290	467
Boston, MA	301	484



**CLEARED
& GRADED**

EMPLOYMENT DATA

MORE THAN 470,000 PEOPLE LIVE WITHIN 20 MILES OF CENTERPOINT

YEAR	CIVILIAN LABOR FORCE	EMPLOYMENT	UNEMPLOYMENT	UNEMPLOYMENT RATE
2013	265,200	244,600	20,500	7.7%
2012	270,500	247,300	23,200	8.6%
2011	267,200	242,300	24,900	9.3%
2010	270,600	242,000	25,600	9.5%
2009	268,700	245,600	23,100	8.6%

Source: www.paworkstats.state.pa.us



**4.06 ACRES
IN NORTHEASTERN PA!**

**DESIGNED FOR
32,500 SF**

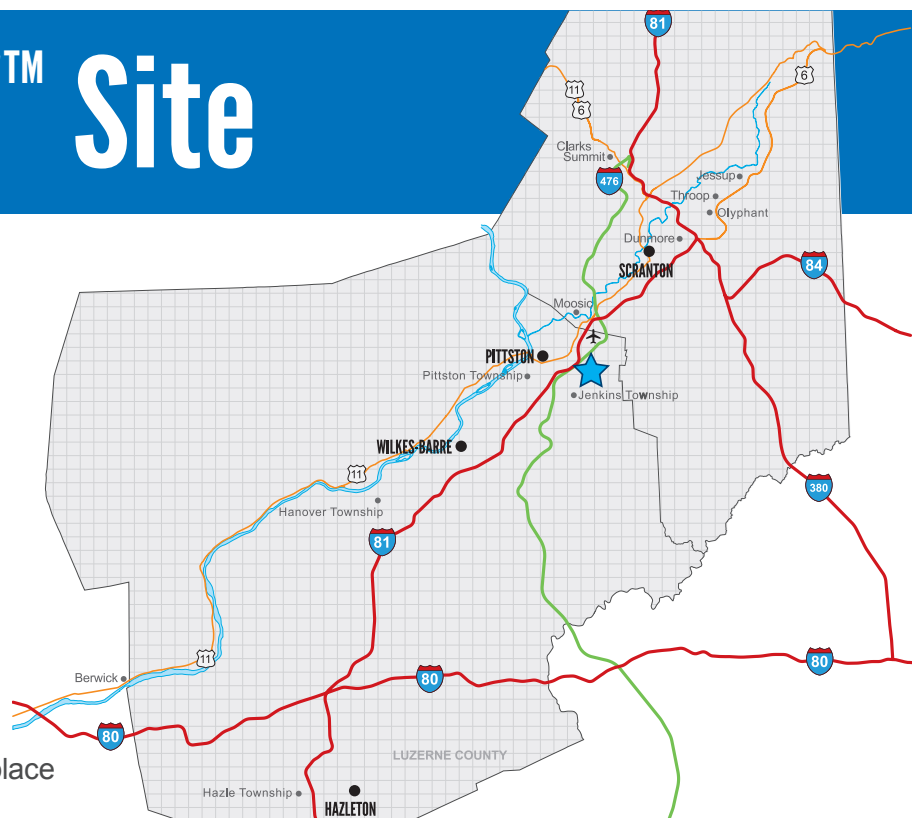
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PARK WEST, PITTSBURGH TOWNSHIP, PA
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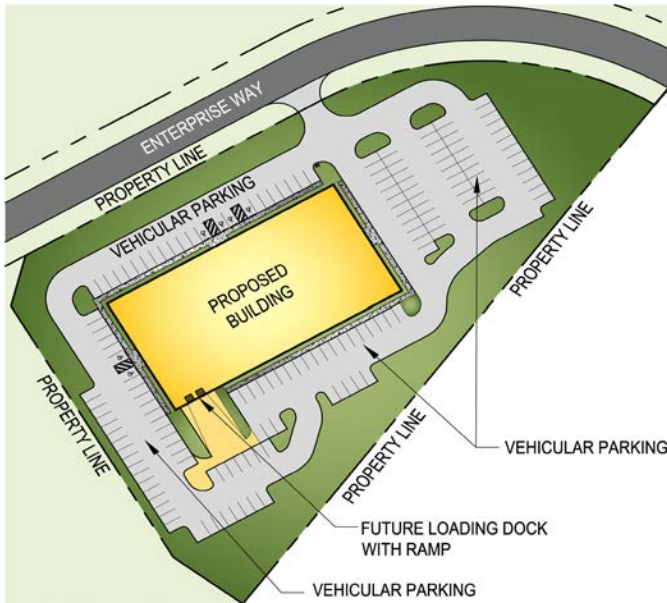
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EXIT 175 OF I-81

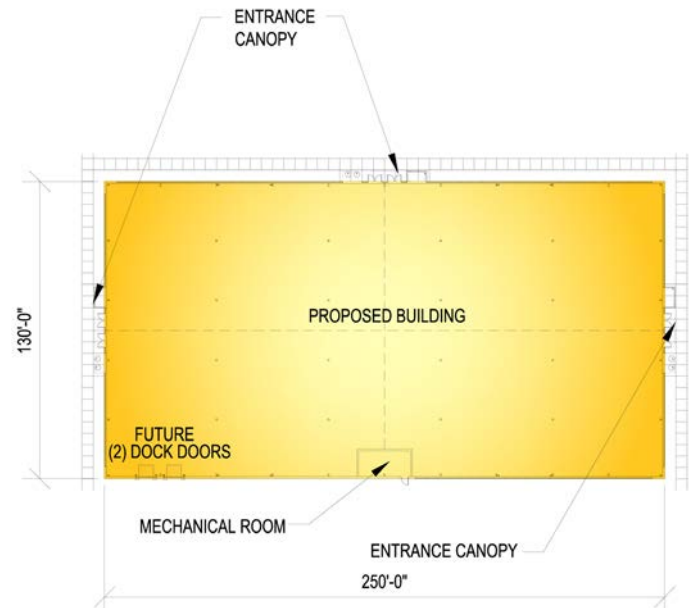
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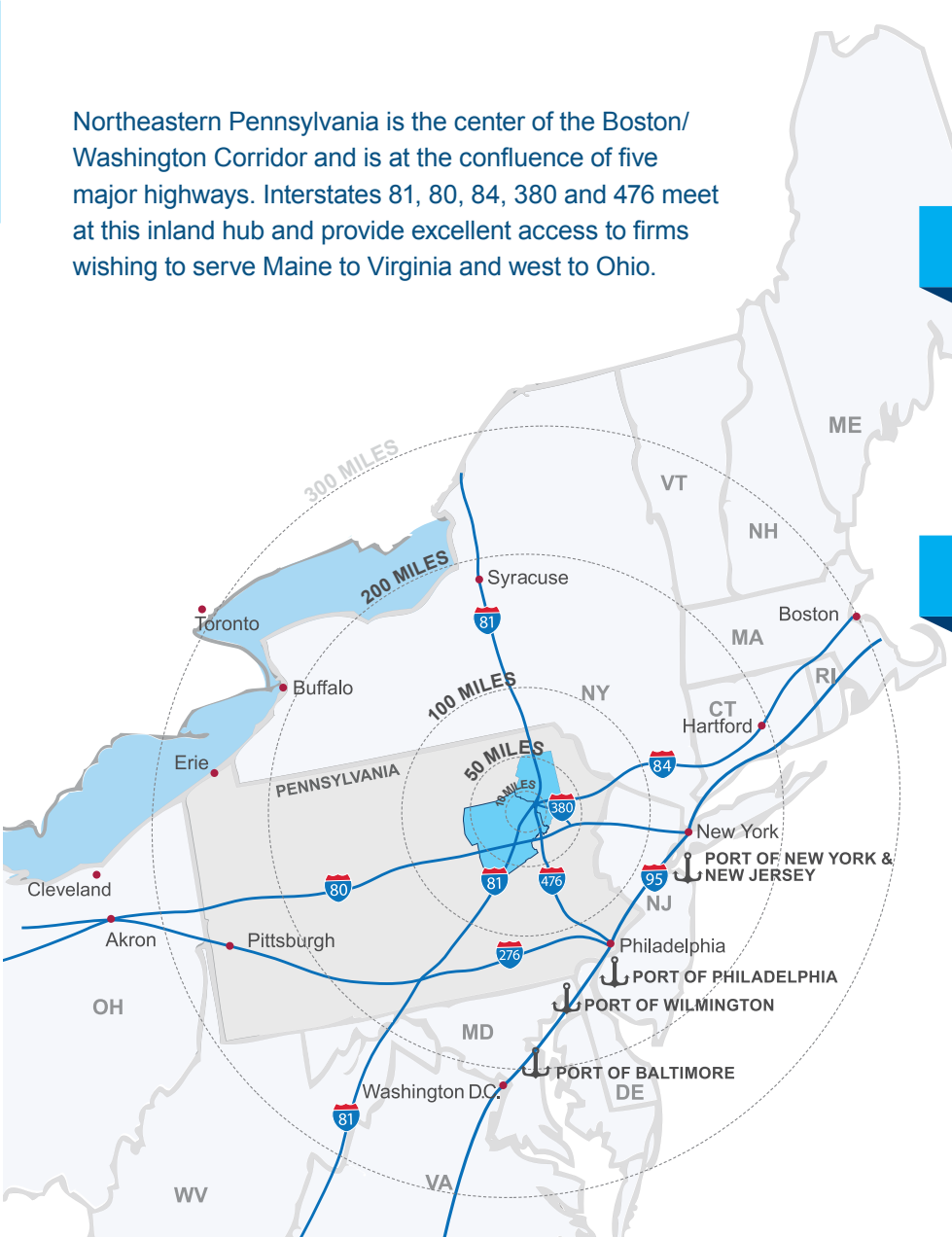
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Source: www.paworkstats.state.pa.us



DIRECTIONS TO CENTERPOINT COMMERCE & TRADE PARK WEST:

Traveling North on I-81 - Take Exit 175 (Pittston/Route 315 North). Merge onto Route 315 north. At second traffic signal, turn left onto Oak Street. Drive 3/10ths of a mile, entrance on right.

Traveling South on I-81 - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 3/10ths of a mile, entrance on right.

Traveling on I-476 (PA Turnpike) - Take Exit 115 (Route 315/Wyoming Valley). Follow Rt. 315 south 1/4 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 3/10ths of a mile, entrance on right.

LERTA APPROVED

10 YEAR 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS (LERTA)

Sample LERTA savings based upon 32,500 SF building. Actual real estate taxes will vary depending upon the cost of construction required to meet a tenant's exact specifications.

YEAR	TAX RATE (\$/SF)	ABATEMENT %	PROPERTY TAX DUE ON IMPROVEMENTS	PROPERTY TAX SAVINGS
1	1.00	100%	.00	32,500.00
2	1.03	100%	.00	33,475.00
3	1.06	100%	.00	34,450.00
4	1.09	100%	.00	35,425.00
5	1.12	100%	.00	36,400.00
6	1.15	100%	.00	37,375.00
7	1.18	100%	.00	38,350.00
8	1.21	100%	.00	39,325.00
9	1.24	100%	.00	40,300.00
10	1.27	100%	.00	41,275.00
TOTALS			\$0.00	\$368,875.00

4.06 ACRES

395 Enterprise Way, Parcel 7B

*CenterPoint Commerce & Trade Park West
Pittston Township, Pennsylvania*



Mericle Commercial Real Estate Services can construct your building faster than any other developer along Northeastern Pennsylvania's I-81 Corridor.

GUARANTEED.

Select a ReadyToGo!™ Site, and we'll have your building ready for occupancy within months of lease signing.

DEVELOPMENT DIVISION:

570.823.1100

Bob Besecker
bbesecker@mericle.com

Jim Hilsher
jhilsher@mericle.com

Bill Jones
bjones@mericle.com

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PHOTO COLLAGE

359-395 ENTERPRISE WAY
CENTERPOINT COMMERCE & TRADE PARK WEST
PITTSBURGH, PENNSYLVANIA



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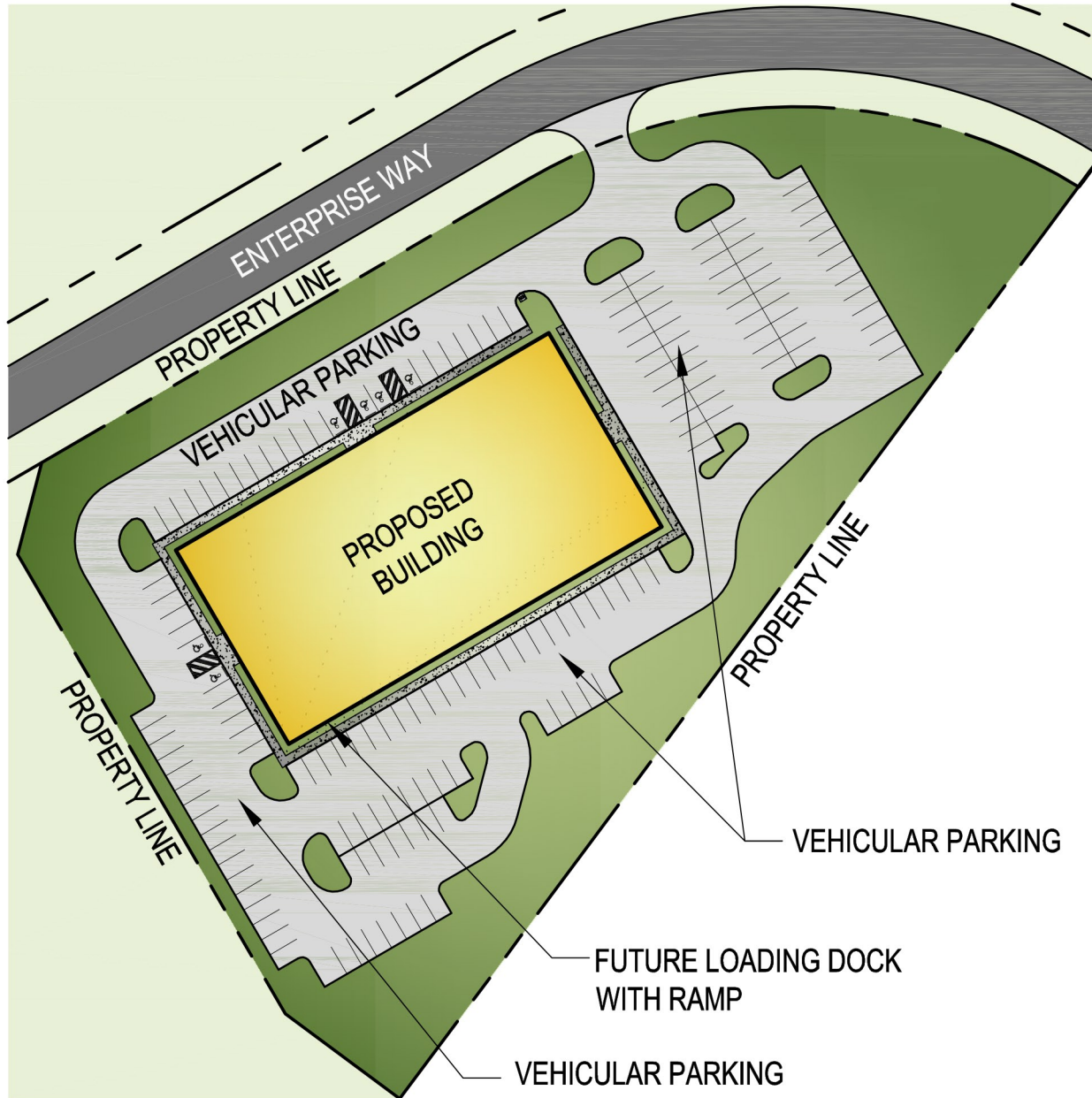
PROPOSED 32,500 S.F. OFFICE BUILDING

**PARCEL #7B
CENTERPOINT WEST
COMMERCE AND TRADE PARK
PITTSBURGH TOWNSHIP
LUZERNE COUNTY, PA 18640**

PARKING SPACES	163
ACREAGE	4.06



**CONCEPTUAL
SITE PLAN**



MERICLE COMMERCIAL REAL ESTATE SERVICES

EAST MOUNTAIN CORPORATE CENTER, 100 BALTIMORE DRIVE, WILKES-BARRE, PA 18702

Phone: 570.823.1100

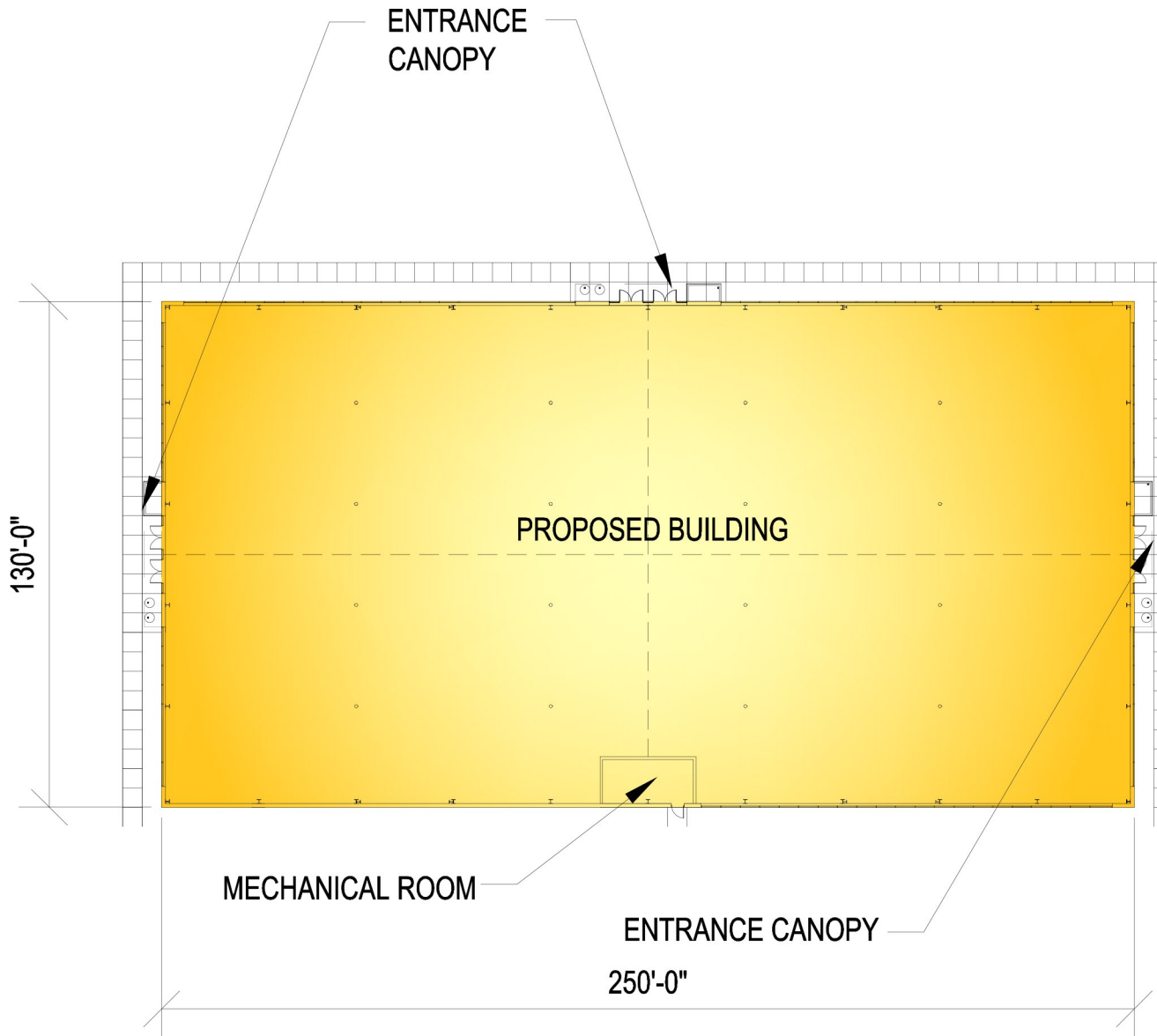
Fax: 570.823.0300

Web site: www.mericle.com

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Commercial Real Estate Services

PROPOSED 32,500 S.F. OFFICE BUILDING

**PARCEL #7B
CENTERPOINT WEST
COMMERCE AND TRADE PARK
PITTSBURGH TOWNSHIP
LUZERNE COUNTY, PA 18640**



**CONCEPTUAL
FLOOR PLAN**



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PROPOSED 32,500 S.F. OFFICE BUILDING

SITE IMPROVEMENTS

- SITE CONTAINS APPROXIMATELY 4.06 ACRES.
- ON-SITE PARKING FOR APPROXIMATELY 163 VEHICLES.
- ASPHALT PAVING.
- PROFESSIONALLY PREPARED LANDSCAPE DESIGN.

BUILDING IMPROVEMENTS

- SINGLE STORY OFFICE BUILDING SHALL CONTAIN 32,500 SQUARE FEET.
- BUILDING DIMENSIONS 250' (LENGTH) X 130' (DEPTH).
- LEASABLE AREA FROM 8,125 S.F. TO 32,500 S.F.
- 4" THICK REINFORCED CONCRETE SLAB FLOOR.
- BUILDING ROOF IS A SINGLE-PLY, .60 MIL THICK FULLY ADHERED EPDM MEMBRANE.
- EXTERIOR WALL SYSTEM CONSTRUCTED WITH A BRICK VENEER WITH E.I.F.S. ACCENT AT
- ENTRANCE.
- THERMALLY BROKEN ALUMINUM FRAME ENTRANCE SYSTEM AND WINDOWS WITH 1" INSULATED GLASS.
- MERICLE PREMIUM OFFICE FINISHES.

UTILITIES AND BUILDING SYSTEMS

- ELECTRICAL SERVICE SHALL BE A 1600-2000 A, 120/208 VOLT, 3 PHASE, 225-400 AMPS.
- INTERIOR LIGHTING FIXTURES SHALL BE 2' x 4' FLUORESCENT LIGHTING WITH PARABOLIC LENSES.
- FIRE PROTECTION SYSTEM SHALL BE A LIGHT HAZARD WET SPRINKLER SYSTEM THROUGHOUT THE FACILITY.
- PROVISIONS FOR DOMESTIC WATER AND NATURAL GAS SHALL BE PROVIDED.
- ALL UTILITIES SHALL BE SEPARATELY METERED.
- INDIVIDUALLY CONTROLLED PACKAGED GAS/ELECTRIC HVAC UNITS.

**PARCEL #7B
CENTERPOINT WEST
COMMERCE AND TRADE PARK
PITTSTON TOWNSHIP
LUZERNE COUNTY, PA 18640**



BUILDING SPECIFICATIONS



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