

170,329 SF

ON 46.5 ACRES AVAILABLE FOR LEASE

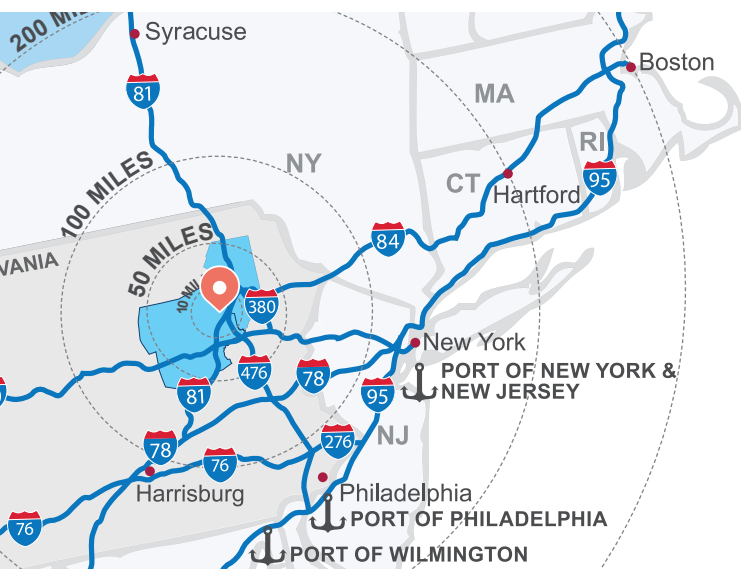
220-300 RESEARCH DR. (PARCEL 27-28)

CENTERPOINT COMMERCE & TRADE PARK EAST
JENKINS TOWNSHIP, PA



TAX ABATED SITE NEAR I-81, I-476

LERTA APPROVED! 10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



DIRECTIONS TO CENTERPOINT EAST:

- **Traveling North on I-81** - Take Exit 175 (Pittston/Route 315 North). Once off exit ramp, make first right just before the light at the car dealership. Follow road under I-476 overpass. Proceed straight into park.
- **Traveling South on I-81** - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.
- **Traveling on I-476 (PA Turnpike)** - Take Exit 115 (Wyoming Valley). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.

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PLANS AND SPECIFICATIONS

SIZE

- **Available Space:** 170,329 SF expandable to 263,329 SF
- Available spaces range from 46,150 SF to 170,329 SF
- **Acreage:** 46.5 acres
- **Building Size:** 279,000 SF, expandable to 372,000 SF
- **Building Dimensions:** 900' (length) x 310' (depth)

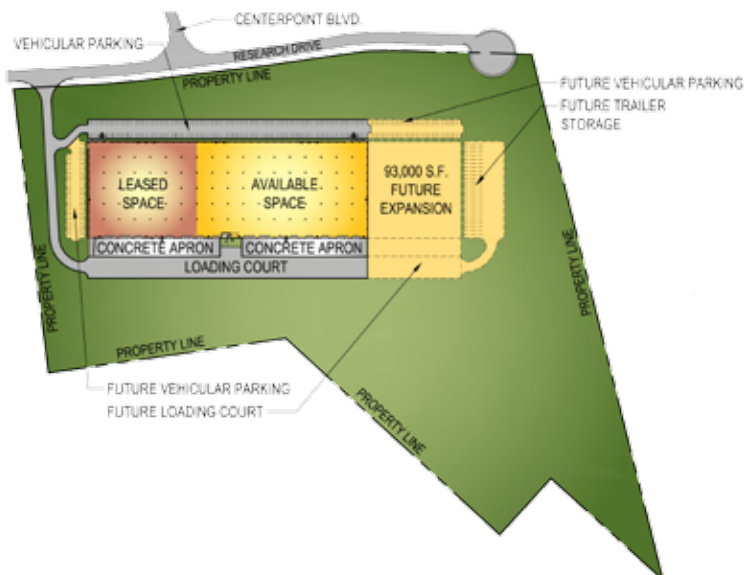
BUILDING CONSTRUCTION

- **Floor:** 6" thick minimum, concrete floor slab reinforced with welded steel mats
- **Roof:** MR24 standing seam roof system with insulation
- **Exterior Walls:** Architectural Masonry/ Exterior Insulation Finish Systems / Glazed, Aluminum Entrance Systems / Insulated Metal Wall Panels
- **Clear Ceiling Height:** 33'-0" to 36'-9"
- **Column Spacing:** 50' x 50' bay spacing with 60' bay at loading wall

LOADING

- **Loading:** Rear dock
- **Dock Equipment:** Twenty-two (22) 9'-0" x 10'-0" insulated vertical lift dock doors with 30,000 lb capacity mechanical levelers and bumpers
- **Trailer Court:** 60' wide concrete apron in loading zone

SITE PLAN



UTILITIES

- **HVAC:** Gas-fired suspended unit heaters or energy-efficient, Cambridge direct-fire units
- **Electrical Service:** 800 amps 480/277 volts, 3-phase (expandable)
- **Lighting:** Energy-efficient fluorescent Tbay fixtures with lighting levels of 18-22 FC average
- **Fire Protection:** Early Suppression Fast Response (ESFR) sprinkler system
- **Utilities:** Separately Metered, Public Water, Sewer, Gas, and Electric

PARKING

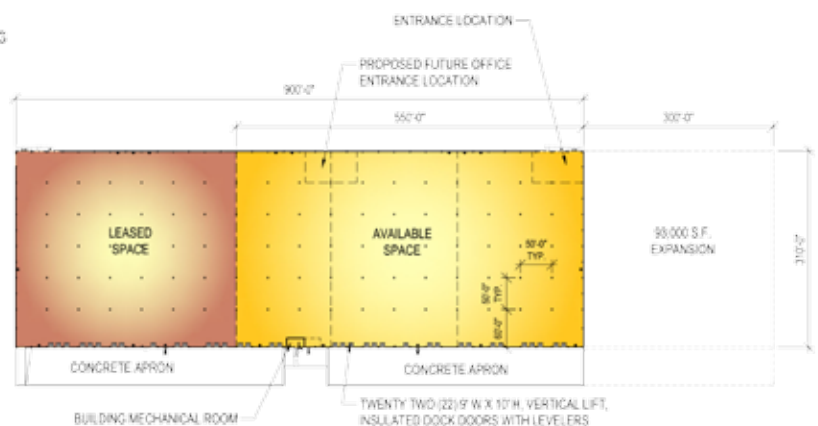
- **Vehicular Parking:** 60 vehicles with an additional 118 proposed future parking spaces
- **Trailer Parking:** 22 with an additional 26 proposed future parking spaces

LOCATION

- Less than one mile from I-81 and 1-476
- More than 470,000 live within 20 miles of the park

FLOOR PLAN

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions



ARTIST'S RENDERING

**AVAILABLE 170,329 S.F. SPACE
IN A PROPOSED 279,000 S.F. BUILDING,
EXPANDABLE TO 372,000 S.F.**

**PARCEL #27/28
220-300 RESEARCH DRIVE
CENTERPOINT COMMERCE &
TRADE PARK- EAST
JENKINS TOWNSHIP
PITTSTON, PA 18640**



These plans have been prepared solely for
marketing purposes for the exclusive use of
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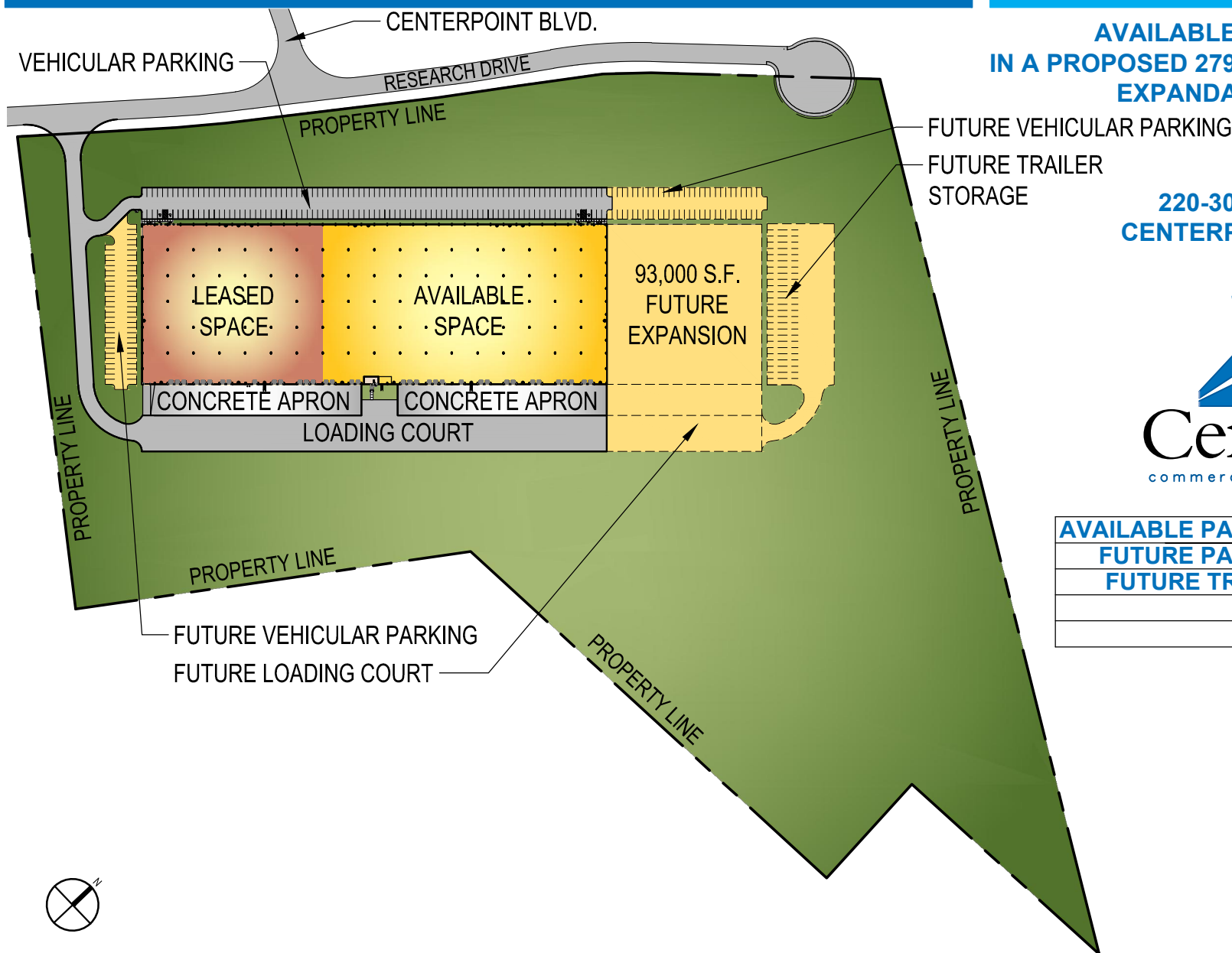
SITE PLAN

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AVAILABLE PARKING SPACES	60
FUTURE PARKING SPACES	118
FUTURE TRAILER SPACES	26
DOCK DOORS	22
ACREAGE	46.5



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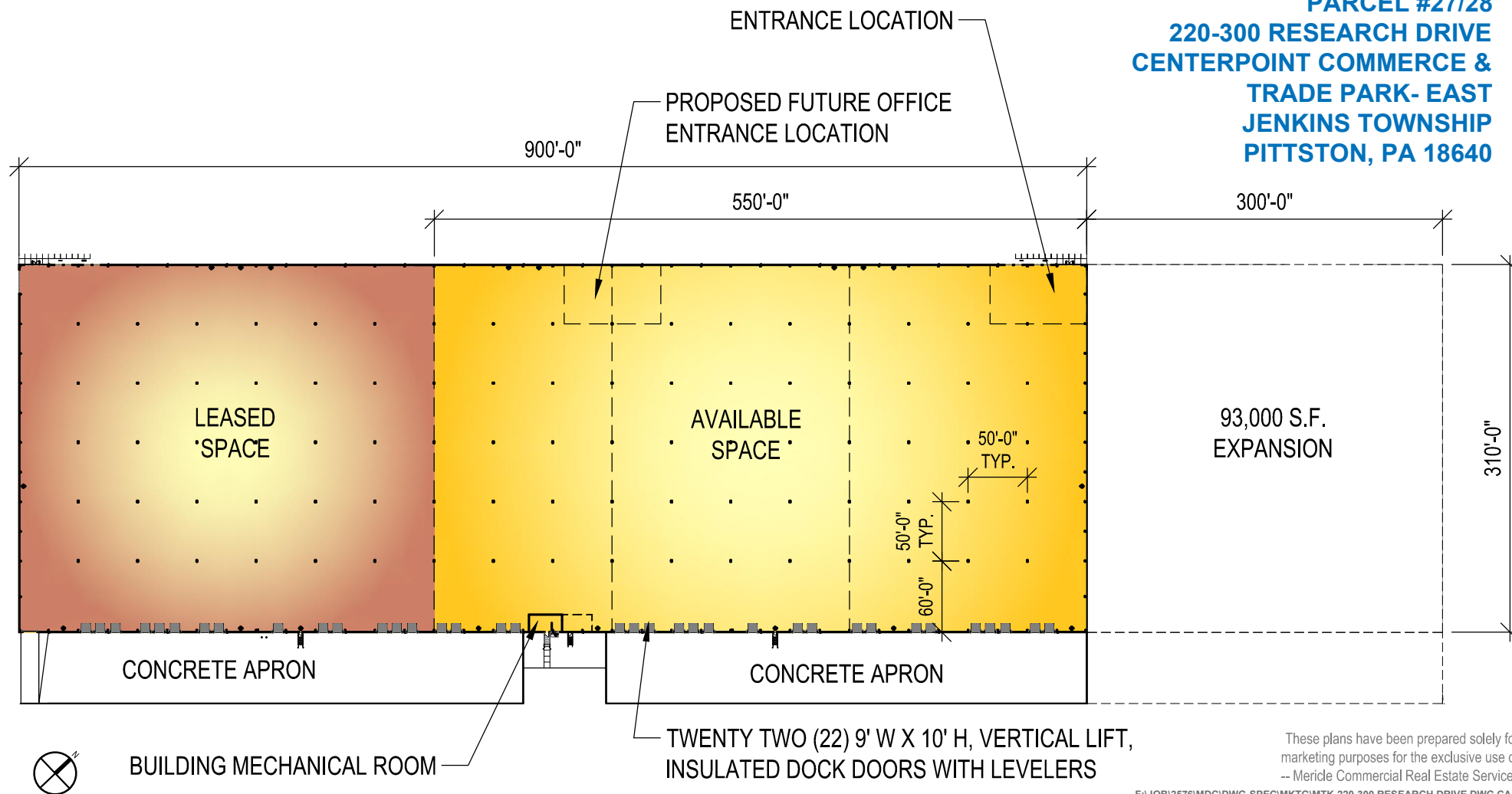
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BUILDING PLAN

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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 46.5 acres.
- On-site parking for approximately (60) vehicles with an additional (118) proposed future parking spaces.
- Asphalt paving, including heavy duty pave for truck traffic.
- 60' wide concrete apron in loading zone.
- Professionally designed and maintained landscaping.
- Multi-tenant, marquee sign at site entrance.

BUILDING IMPROVEMENTS

- Building contains 279,000 square feet, expandable to 372,000 square feet.
- Building dimensions are 900' (length) x 310' (depth).
- Available spaces range from 46,150 SF to 170,329 SF.
- 33'-0" clear structural height at low eave.
- 36'-9" approximate, clear structural height at high eave
- 50' x 50' bay spacing with 60' bay at loading wall.
- 6" thick minimum, concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system with insulation.
- Exterior wall system consists of architectural masonry, aluminum frame windows, metal wall panels with insulation, and aluminum frame storefront entrances with an exterior finishing system surround.
- The available space contains twenty-two (22) 9'-0" x 10'-0" insulated vertical lift dock doors with 30,000 lb capacity mechanical levelers and bumpers.

UTILITIES AND BUILDING SYSTEMS

- The warehouse heating system shall be gas fired suspended unit heaters or energy efficient, Cambridge direct -fire units.
- The electrical service is 800 amps 480/277 volts, 3-phase, expandable.
- The warehouse lighting is energy efficient fluorescent t-bay fixtures with lighting levels of 18 -22 FC average.
- Fire Protection System shall be an Early Suppression Fast Response (ESFR) sprinkler system.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

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