

# 399,500 SF

AVAILABLE FOR LEASE

**250-298 ENTERPRISE WAY**

CENTERPOINT COMMERCE & TRADE PARK WEST  
PITSTON TOWNSHIP, PA



SAMPLE BUILDING

## TAX ABATED INDUSTRIAL SITE NEAR I-81, I-476

**LERTA APPROVED!** 10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



### DIRECTIONS TO CENTERPOINT WEST:

- **Traveling North on I-81:** Take Exit 175 (Pittston/Route 315 North). Merge onto Route 315 north. At second traffic signal, turn left onto Oak Street. Drive 3/10ths of a mile, entrance on right.
- **Traveling South on I-81:** Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 3/10ths of a mile, entrance on right.
- **Traveling on I-476 (PA Turnpike):** Take Exit 115 (Route 315/ Wyoming Valley). Follow Rt. 315 south 1/4 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 3/10ths of a mile, entrance on right.

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# PLANS AND SPECIFICATIONS

## SIZE

- **Available space SF:** 399,500
- **Acreage:** 51.15
- **Building total SF:** 399,500, expandable to 493,500 SF
- **Building size:** 850' (length) x 470' (depth)
- **Office space:** Build-to-suit

## BUILDING CONSTRUCTION

- **Floor:** 7", 4000 PSI, concrete reinforced with welded steel mats
- **Roofing:** MR24 standing seam metal roof, R30
- **Wall Systems:** Architectural Masonry/ Exterior Insulation Finish Systems / Glazed, Aluminum Entrance Systems / Insulated Metal Wall Panels, R19
- **Clear Ceiling Height:** 36' to 40'-10"
- **Column Spacing:** 50' x 50' bay spacing with 60' staging bays

## LOADING

- **Loading Configuration:** Cross dock
- **Dock Equipment:** Fifty-seven (57) 9' x 10' manual vertical lift dock doors with 30,000 lb Rite-Hite mechanical dock levelers
- Expandable to seventy-three (73) dock doors
- **Trailer Courts:** 180' with 8", 60' reinforced concrete apron and 8", 8' concrete dolly pads
- **Drive-in Doors Available:** One (1) 12' x 14' vertical lift drive-in door with 60' concrete ramp, additional doors provided to suit

## UTILITIES

- **HVAC:** Energy-efficient Cambridge direct gas-fired roof top units
- **Office HVAC:** Provided to suit
- **Electrical Service:** 800 amps 480/277 volts, 3-phase (expandable)
- **Warehouse Lighting:** Energy-efficient fluorescent T-Bay fixtures
- **Office Lighting:** Provided to suit
- **Fire Protection:** Early Suppression Fast Response (ESFR) sprinkler system, K25 heads
- **Office Fire Protection:** Provided to suit
- **Utilities:** Separately Metered, Public Water, Sewer, Gas, and Electric
- **Telecommunications:** Fiber optic and copper facilities available

## PARKING

- **Vehicular Parking:** 174 expandable to 310
- **Trailer Parking:** 135 expandable to 250

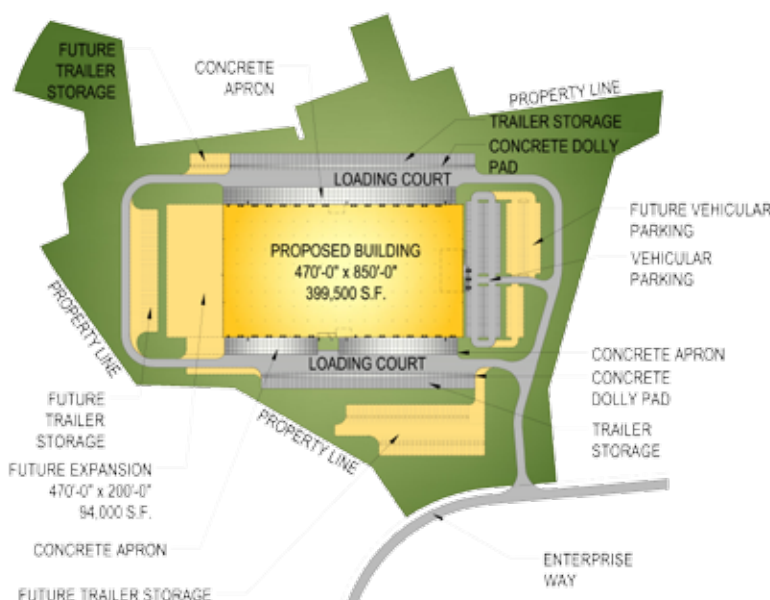
## SPECIALTY IMPROVEMENTS

- Rail available
- Guardhouse and queuing lanes available

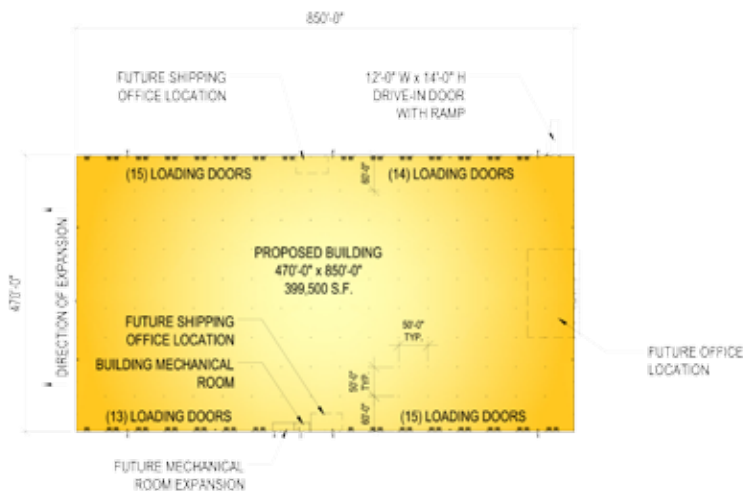
## LOCATION

- Less than one mile from I-81 and 1-476
- More than 470,000 live within 20 miles of the park

### SITE PLAN



### FLOOR PLAN

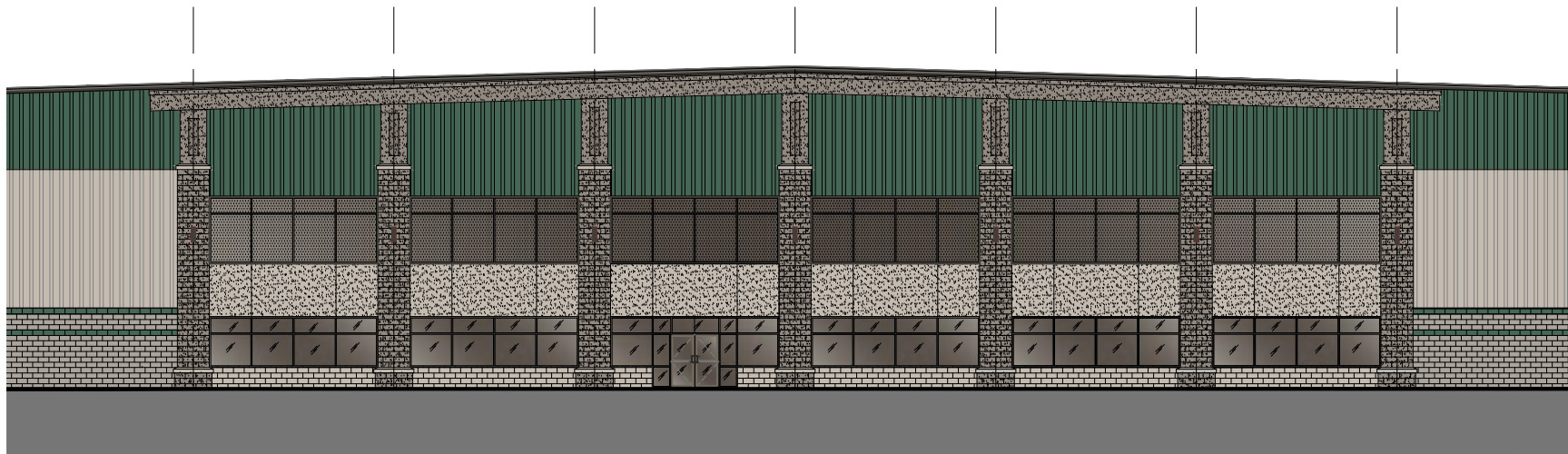


*Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions*

## RENDERED ELEVATION

PROPOSED 399,500 S.F. BUILDING  
WITH A 94,000 S.F. EXPANSION

PARCEL #13  
250-298 ENTERPRISE WAY  
CENTERPOINT COMMERCE AND  
TRADE PARK - WEST  
PITTSTON TOWNSHIP  
PITTSTON, PA 18640



FRONT ELEVATION  
NOT TO SCALE

These plans have been prepared solely for  
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– Mericle Commercial Real Estate Services

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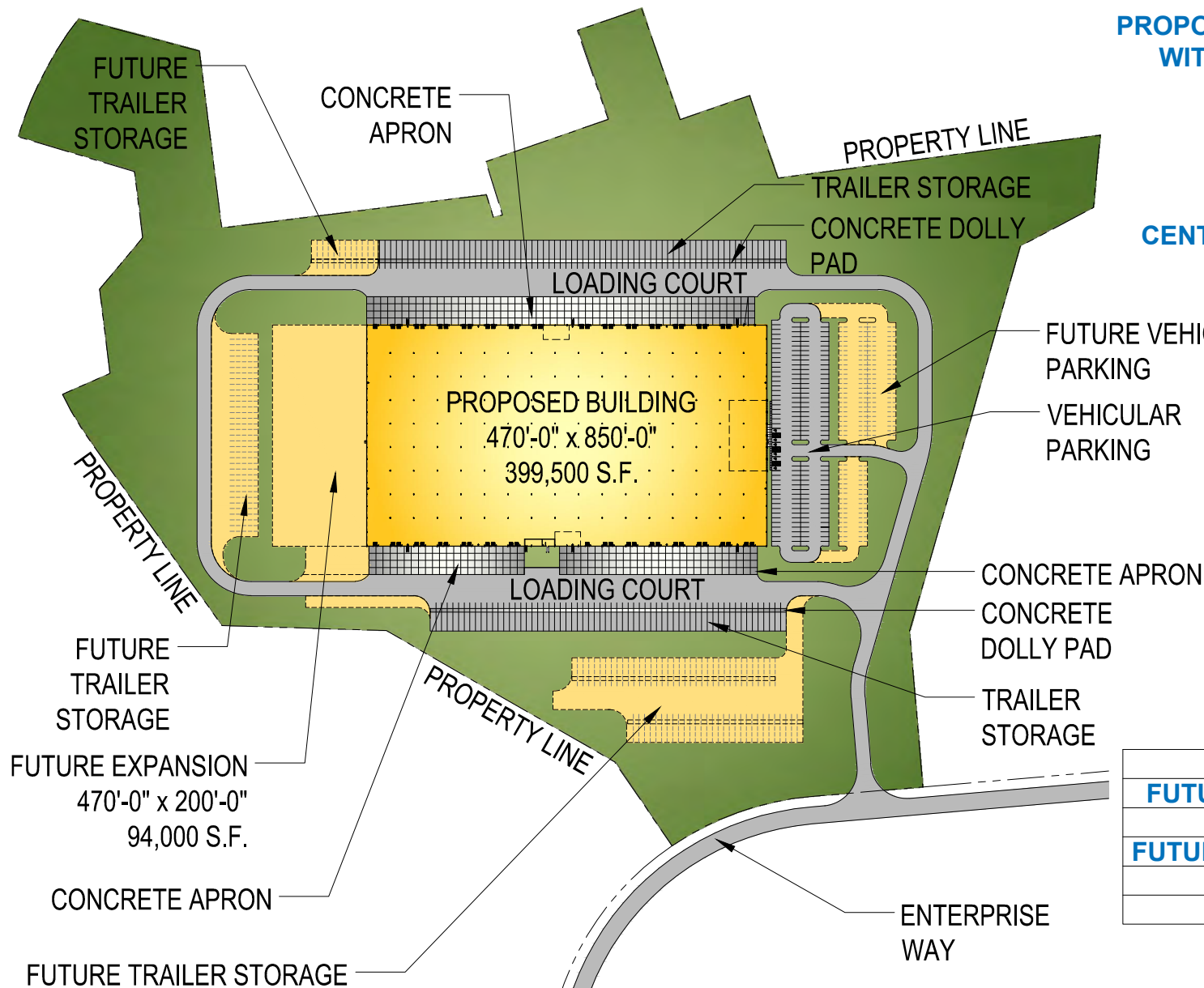
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## CONCEPTUAL SITE PLAN

**PROPOSED 399,500 S.F. BUILDING  
WITH A 94,000 S.F. EXPANSION**

**PARCEL #13  
250-298 ENTERPRISE WAY  
CENTERPOINT COMMERCE AND  
TRADE PARK - WEST  
PITTSBURGH TOWNSHIP  
PITTSBURGH, PA 15260**



<b>PARKING SPACES</b>	<b>174</b>
<b>FUTURE PARKING SPACES</b>	<b>136</b>
<b>TRAILER STORAGE</b>	<b>135</b>
<b>FUTURE TRAILER STORAGE</b>	<b>115</b>
<b>DRIVE-IN DOORS</b>	<b>1</b>
<b>DOCK DOORS</b>	<b>57</b>

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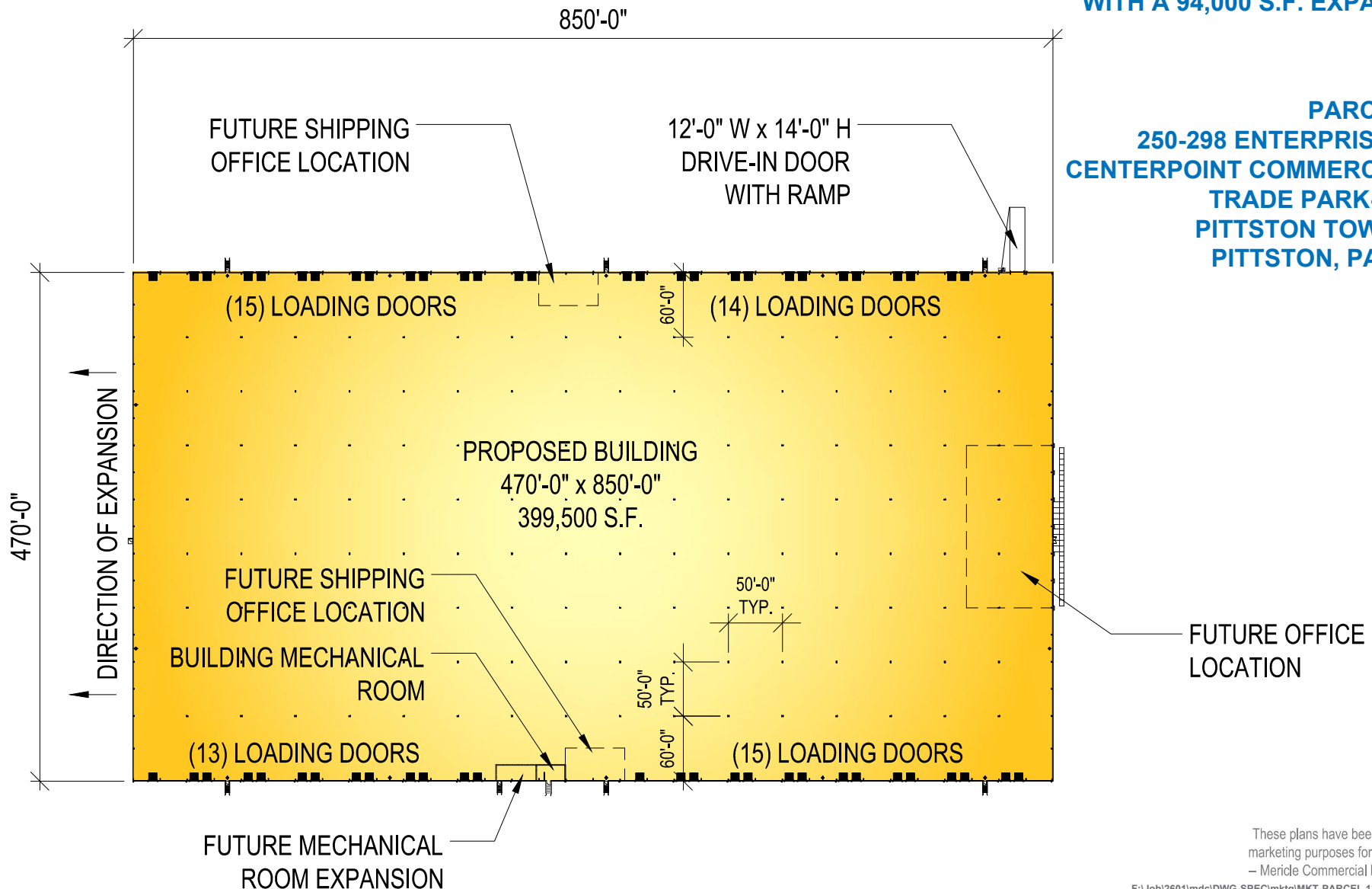
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## CONCEPTUAL FLOOR PLAN

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## BUILDING SPECIFICATIONS

### SITE IMPROVEMENTS

- On-site parking for approximately 174 vehicles and 136 future spaces.
- Site contains approximately 51.15 acres.
- On-site trailer storage for approximately 135 trailers and 115 future spaces.
- 8" thick reinforced concrete apron at loading dock.
- 8' wide concrete dolly pad at trailer storage area.
- Asphalt paving including heavy duty pave in truck areas.
- Professionally designed landscape and maintenance.
- Marquee sign at site entrance.

### BUILDING IMPROVEMENTS

- Building shall contain 399,500 square feet.
- Building dimensions shall be 850'-0" (length) x 470'-0" (depth).
- 50'-0" x 50'-0" bay spacing with 60'-0" deep staging bays at both loading sides.
- 7" concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system with insulation.
- Exterior wall system shall consist of architectural masonry, aluminum/glazing entrance systems and metal wall panels with insulation.
- The building shall contain (57) 9'-0" x 10'-0" vertical lift dock doors with 30,000 LB capacity Rite-Hite mechanical levelers with bumpers.
- The building shall contain (1) 12'-0" x 14'-0" vertical lift drive-in door with pre-cast ramp.
- 31'-6" approximate clear structural height along loading walls and 36'-6" clear at building ridge.

### UTILITIES AND BUILDING SYSTEMS

- The warehouse heating system shall be gas fired suspended unit heaters or energy efficient, Cambridge direct -fire units.
- The electrical service is 800 amps 480/277 volts, 3-phase, expandable.
- The warehouse lighting is energy efficient fluorescent t-bay fixtures with lighting levels of 18 -22 FC average.
- Fire Protection System shall be an Early Suppression Fast Response (ESFR) sprinkler system.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

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