

16,432 SF

ON 12.61 ACRES AVAILABLE FOR LEASE

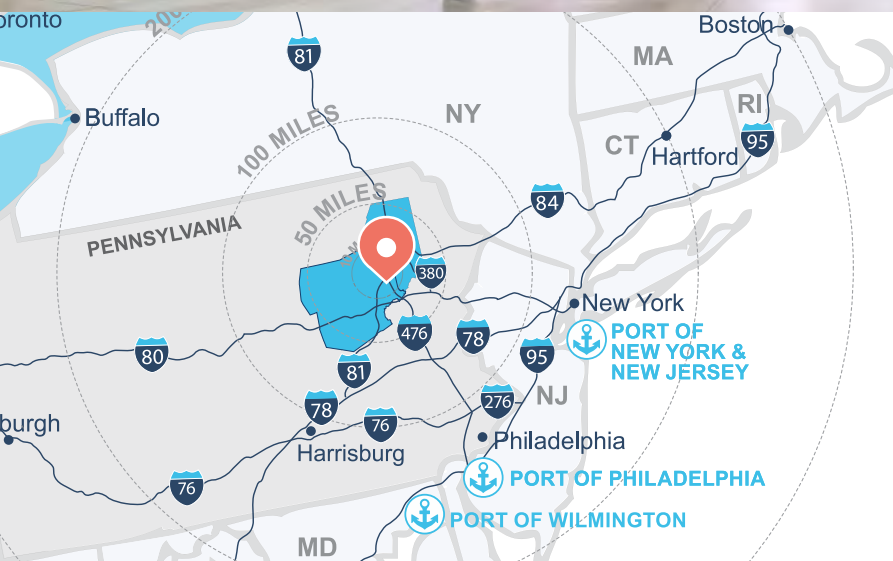
120 CENTERPOINT BLVD.

CENTERPOINT COMMERCE & TRADE PARK EAST
JENKINS TOWNSHIP, PA



MODERN FLEX SPACE NEAR I-81, I-476

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CENTERPOINT FEATURES

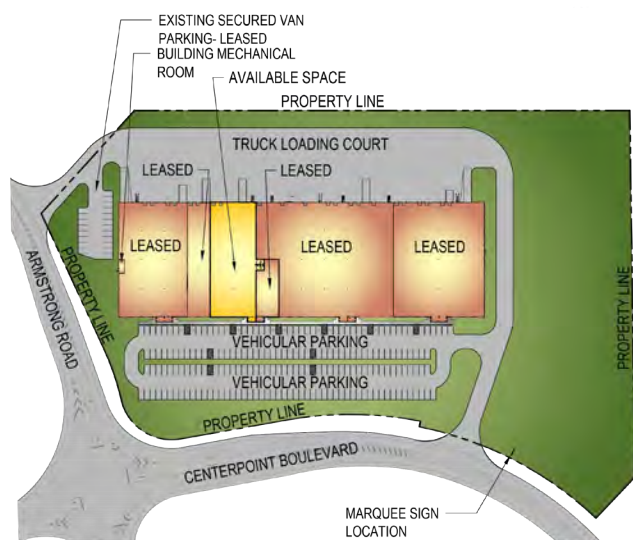
- ✓ Park is less than one mile from I-81 and I-476
- ✓ Immediate proximity to FedEx Ground, FedEx Express, FedEx Smart Post, and UPS
- ✓ More than 700,000 people live within 30 miles
- ✓ Two hours from New York City and Philadelphia
- ✓ More than 51 million people live within 200 miles
- ✓ Public water, sewer, natural gas, fiber, and power
- ✓ Park is home to industrial facilities for Lowe's, The Home Depot, Neiman Marcus, Kimberly Clark, Bimbo Bakeries, Isuzu, Corning, and others.



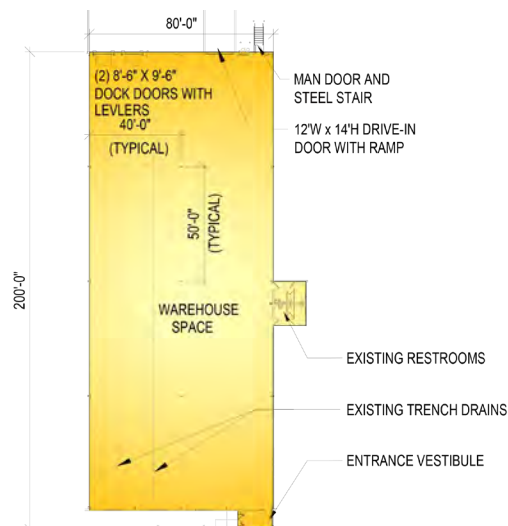
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SITE PLAN



FLOOR PLAN



SIZE

- **Available Space:** 16,432 SF
- **Acreage:** 12.61 acres
- **Building Dimensions:** 640' (length) x 200' (depth)

BUILDING CONSTRUCTION

- **Floor:** 6" thick concrete floor slab, reinforced with welded steel mats
- **Roof:** Butler MR24 standing seam metal roof system with R-19 fiberglass batt insulation.
- **Exterior Walls:** Split-faced concrete block, Butler Texturewall insulated metal wall panels with R-value of 15.4, an aluminum-frame insulated glass store-front system and architectural e.i.f.s. accents
- **Ceiling Height:** 30'-1" clear structural height at low eave and 34'-3" clear structural height at high eave
- **Column Spacing:** 50' x 50' bay spacing with 60' deep staging bay

LOADING

- **Dock Equipment:** Two (2) 8'-6"w x 9'-6"h vertical-lift, insulated steel dock doors with Rite-Hite 30,000 lbs capacity mechanical levelers with bumpers, dock lights and Frommelt seals
- One (1) 12'w x 14'h vertical-lift, motor operated, insulated steel drive-in doors, with 40' long, 50,000 lbs capacity pre-cast concrete ramp

UTILITIES

- **Warehouse HVAC:** High-efficiency, suspended, gas-fired unit heaters
- Warehouse area contains roof exhaust fans, wall louvers, and CO₂ monitoring system
- **Electrical Service:** 400 A, 120/208 V, 3-phase
- Back-up generator is 16K W, 120/240 V, single-phase natural gas
- **Warehouse Area Lighting:** 400 W metal halide, high bay fixtures with lighting levels of 18-22 FC average
- **Fire Protection:** Fire protection system is Ordinary Hazard Class III Commodity, ESFR capable
- **Utilities:** All utilities shall be separately metered
- Provisions for domestic water and natural gas shall be provided

PARKING

- Asphalt paving, including heavy duty pave in truck areas
- On-site parking for approximately 25 vehicles

LOCATION

- Less than one mile from I-81 and I-476
- More than 470,000 live within 20 miles of the park

Northeastern Pennsylvania is the center of the Boston/Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380 and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.

CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR

DEEP WATER PORTS

| PORT | MI | KM |
|---------------------|-----|-----|
| Philadelphia | 120 | 193 |
| New York/New Jersey | 121 | 195 |
| Wilmington | 132 | 212 |
| Baltimore | 191 | 307 |

TRAVEL DISTANCES

| CITY | MI | KM |
|------------------------|-----|-----|
| Delaware Water Gap, PA | 57 | 92 |
| Allentown, PA | 67 | 108 |
| Morristown, NJ | 96 | 155 |
| Philadelphia, PA | 113 | 182 |
| Harrisburg, PA | 116 | 187 |
| Port Newark, NJ | 126 | 203 |
| New York, NY | 128 | 206 |
| Syracuse, NY | 152 | 245 |
| Baltimore, MD | 194 | 312 |
| Hartford, CT | 198 | 319 |
| Washington, DC | 237 | 381 |
| Pittsburgh, PA | 290 | 467 |
| Boston, MA | 301 | 484 |



**MORE THAN 51 MILLION
PEOPLE LIVE WITHIN 200 MILES
OF CENTERPOINT COMMERCE & TRADE PARK**

EMPLOYMENT & UNEMPLOYMENT DATA

FOR LACKAWANNA & LUZERNE COUNTIES

MORE THAN 470,000 PEOPLE LIVE WITHIN 20 MILES OF CENTERPOINT

| YEAR | NEPA REGION CIVILIAN LABOR FORCE | EMPLOYED | UNEMPLOYED | NEPA | PA | US |
|------|-------------------------------------|----------|------------|------|------|------|
| 2019 | 263,600 | 251,500 | 12,100 | 4.6% | 3.9% | 3.8% |
| 2018 | 264,800 | 250,300 | 14,600 | 5.4% | 4.8% | 4.1% |
| 2017 | 263,600 | 248,700 | 14,900 | 5.6% | 4.9% | 4.4% |

DIRECTIONS TO CENTERPOINT COMMERCE & TRADE PARK EAST

TRAVELING NORTH ON I-81

Take Exit 175 (Pittston/Route 315 North). Make the first right just before the auto dealership. Follow road under I-476 overpass.

TRAVELING SOUTH ON I-81

Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south ½ mile to first light. Turn left and follow road under I-476 overpass.

TRAVELING ON I-476 (PA TURNPIKE)

Take Exit 115 (Wyoming Valley). Follow Rt. 315 south ½ mile to first light. Turn left and follow road under I-476 overpass.



**120
CENTERPOINT BLVD.**
CENTERPOINT COMMERCE
& TRADE PARK EAST
PITTSTON, PA 18640

DEVELOPMENT DIVISION

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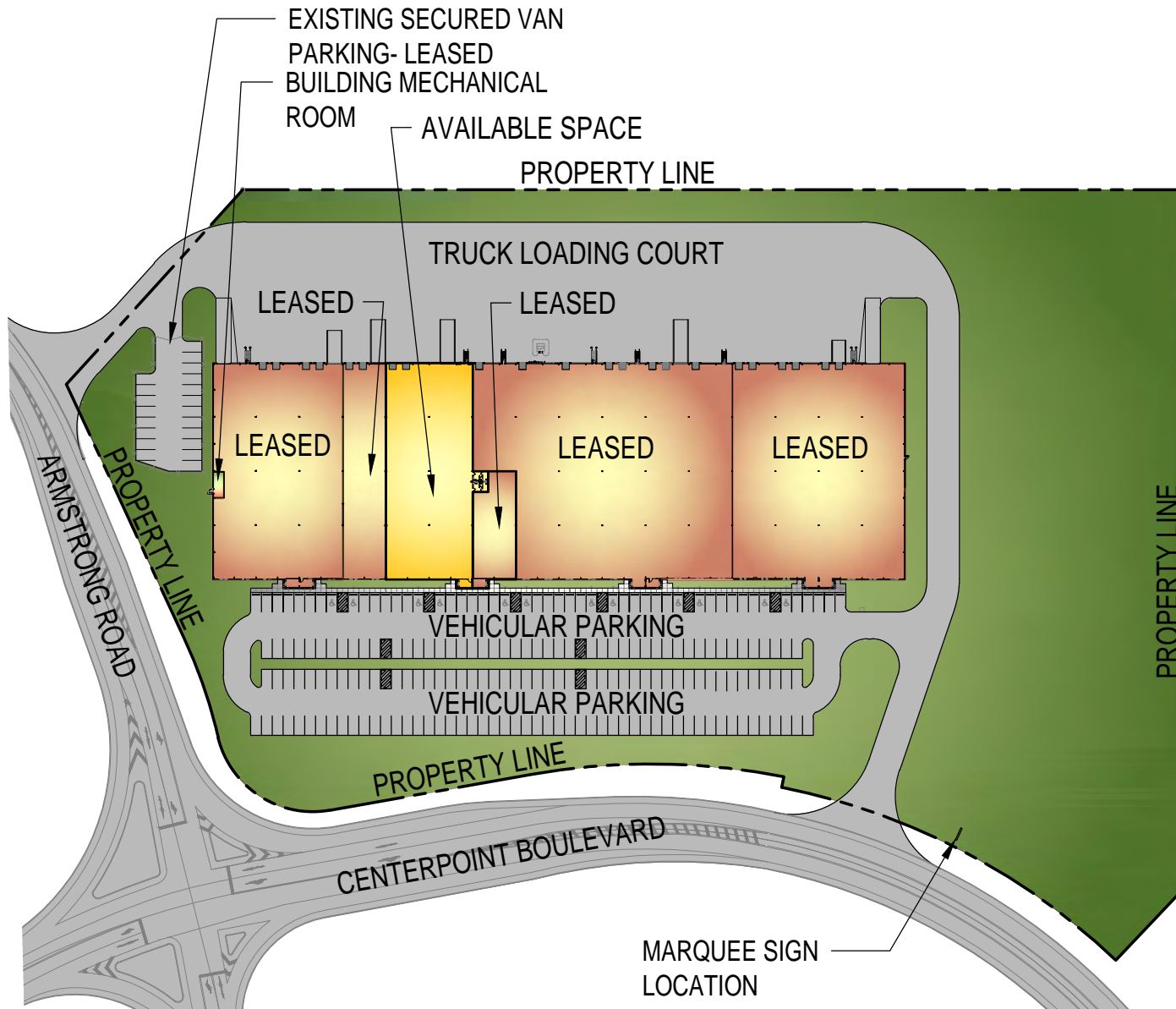
EXISTING SITE PLAN

AVAILABLE 16,432 S.F. AREA WITHIN AN
EXISTING 128,992 S.F. BUILDING

PARCEL #1
120 CENTERPOINT BOULEVARD
CENTERPOINT EAST
COMMERCE AND TRADE PARK
JENKINS TOWNSHIP
PITTSTON, PA 18640



| | |
|-----------------|--------|
| AVAILABLE SPACE | 16,432 |
| PARKING SPACES | 25 |
| DOCK DOORS | 2 |
| DRIVE-IN DOORS | 1 |
| ACREAGE | 12.61 |



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marketing purposes for the exclusive use of
-- Mericle Commercial Real Estate Services

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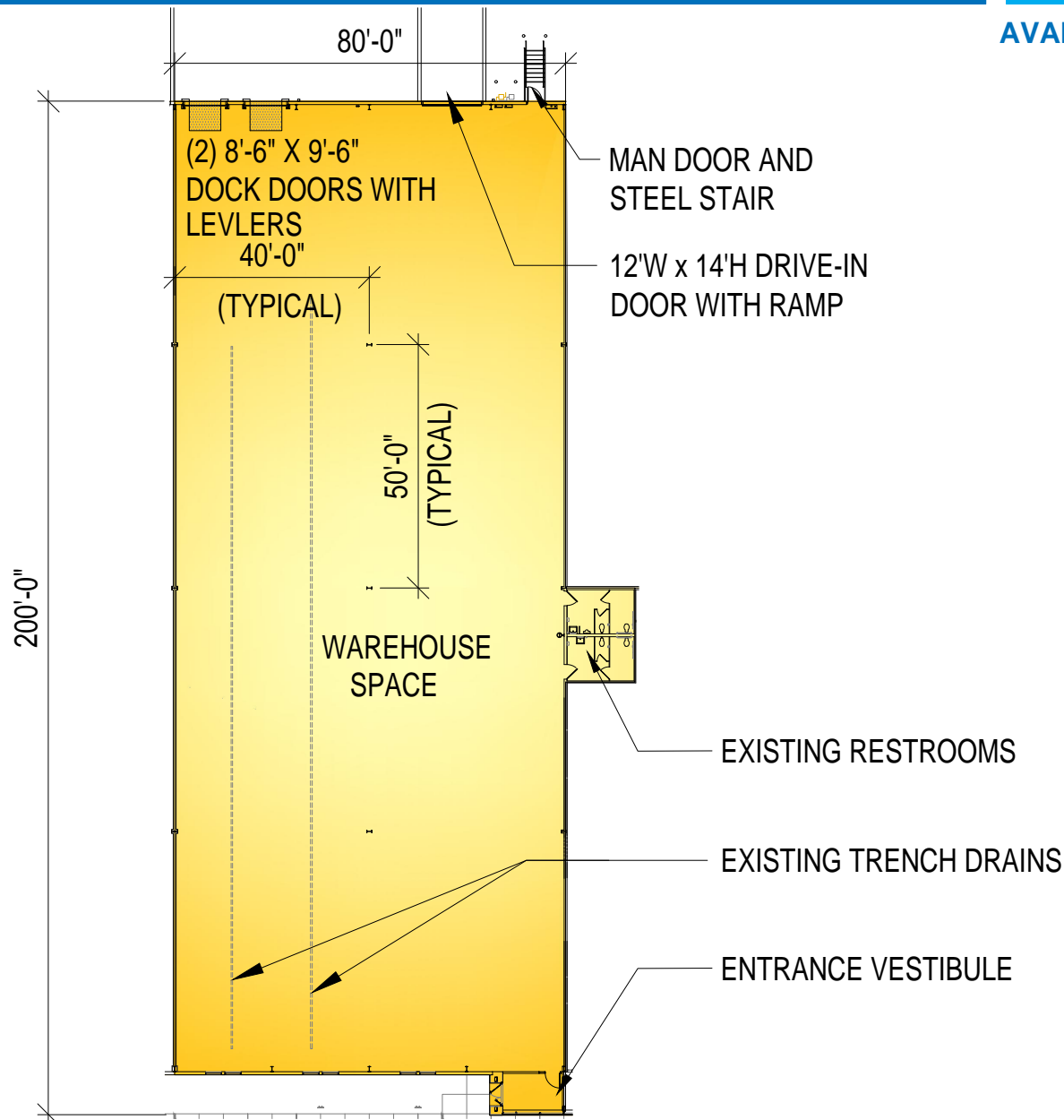
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

EXISTING FLOOR PLAN

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East Mountain Corporate Center
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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 12.61 acres.
- On-site parking for up to 25 vehicles.
- Asphalt paving including heavy duty pave in truck areas.
- Professionally prepared landscape design.
- Illuminated, marquee sign at site entrance.

BUILDING IMPROVEMENTS

- The Building is 640 feet long and 200 feet deep.
- Available space contains 16,432 rentable square feet.
- Available space dimensions are shown on plan.
- 30'-1" clear structural height at low eave and 34'-3" clear structural height at high eave.
- *Butler MR24* standing seam metal roof system with R-19 fiberglass batt insulation.
- 6" thick concrete floor slab is reinforced with welded steel mats.
- Exterior wall system is constructed with split-faced concrete block, *Butler Texturewall* insulated metal wall panels with R-value of 15.4, an aluminum-frame insulated glass storefront system and architectural e.i.f.s. accents.
- The available space contains two (2) 8'-6" x 9'-6" vertical lift, insulated steel dock doors with *Rite-Hite* 30,000 lbs capacity mechanical levelers, with bumpers and dock lights and *Frommelt* seals.
- The available space contains one (1) 12'W x 14'H vertical lift, motor operated, insulated steel drive-in doors, with 40' long, 50,000 lbs capacity pre-cast concrete ramp.

UTILITIES AND BUILDING SYSTEMS

- The heating system in the warehouse is high-efficiency, suspended, gas fired unit heaters.
- Warehouse Area contains roof exhaust fans, wall louvers, and CO₂ monitoring system.
- The electrical service is 400 AMP, 120/208v 3-phase.
- Back-up Generator is 16KW 120/240 Single Phase Natural Gas
- Warehouse Area lighting is 400 W metal halide high bay fixtures with lighting levels of 18-22 FC average.
- Fire protection system is Ordinary Hazard Class III Commodity, ESFR capable.
- Provisions for domestic water and natural gas are provided.
- All utilities are separately metered.

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EXISTING 128,992 S.F. BUILDING**

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CENTERPOINT EAST
COMMERCE AND TRADE PARK
JENKINS TOWNSHIP
PITTSBURGH, PA 15110**

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