

201,500 SF

ON 15.15 ACRES

62 GREEN MOUNTAIN ROAD, LOT B

HUMBOLDT INDUSTRIAL PARK
EAST UNION TOWNSHIP, PA



BUILDING RENDERING

BUILD-TO-SUIT SITE WITH

GREAT ACCESS TO I-81 & I-80!



DIRECTIONS TO HUMBOLDT INDUSTRIAL PARK:

Traveling North on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn left. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

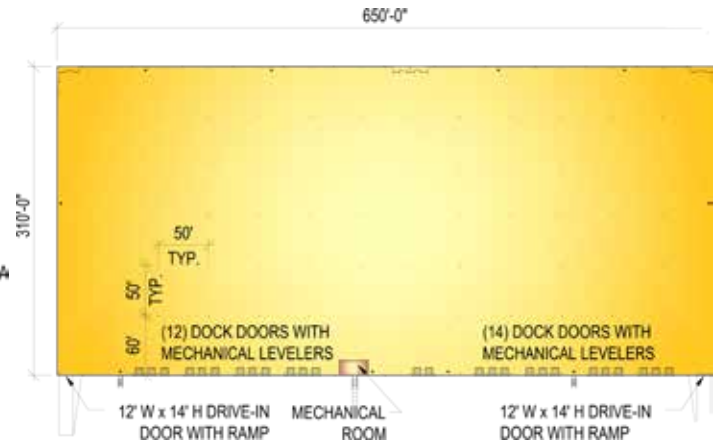
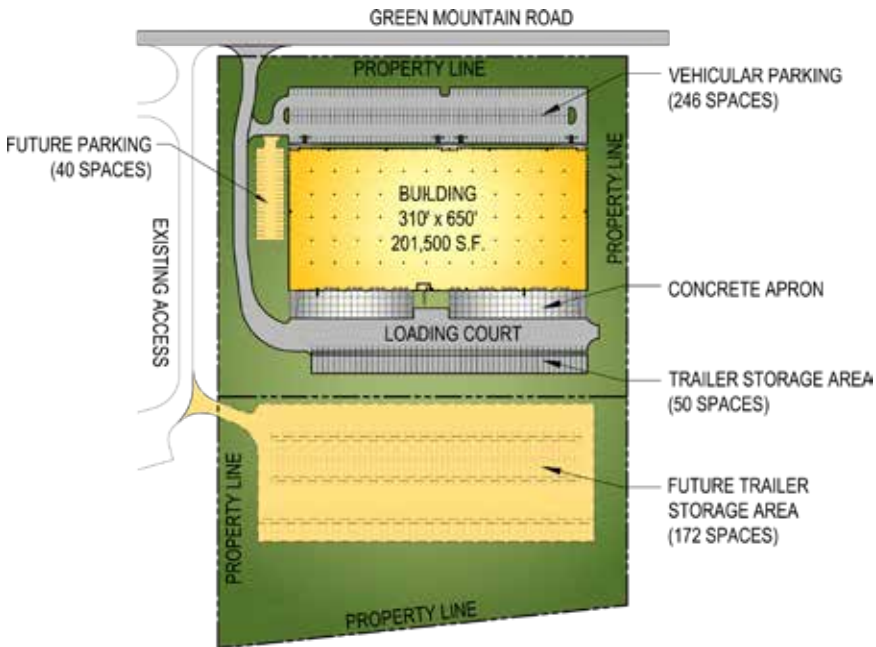
Traveling South on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn right. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

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Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

PROPOSED PROPERTY SPECIFICATIONS

- Building shall contain 201,500 SF
- 650' (length) x 310' (width) on 15.15 acres
- Adjacent 10.24 acre site can be used for additional trailer storage if needed
- 37'9 1/16" to 39'11 3/4" ceiling clear height
- 50' x 50' column spacing with a 60' deep staging bay at the loading dock
- 7" thick reinforced concrete floor slab
- Twenty-six (26) 9' x 10' vertical lift dock doors with 30,000lb. capacity mechanical levelers
- Two (2) 12' x 14' drive-in door with ramp
- Warehouse heating system shall be energy efficient Cambridge direct-fire units
- HVAC in office area shall be gas/electric roof top unit
- Electrical service shall be 800 amp (expandable), 277/480 V, 3-phase
- Warehouse lighting shall be energy efficient LED fixtures
- Office lighting shall be fluorescent with prismatic lenses
- Fire protection shall be ESFR wet sprinkler system
- On-site parking for approx. 246 vehicles
- On-site trailer storage for approx. 50 trailers with 8" thick, 8' wide concrete dolly pad. Parking for up to 172 additional trailers can be added.
- 8" thick reinforced concrete dock apron

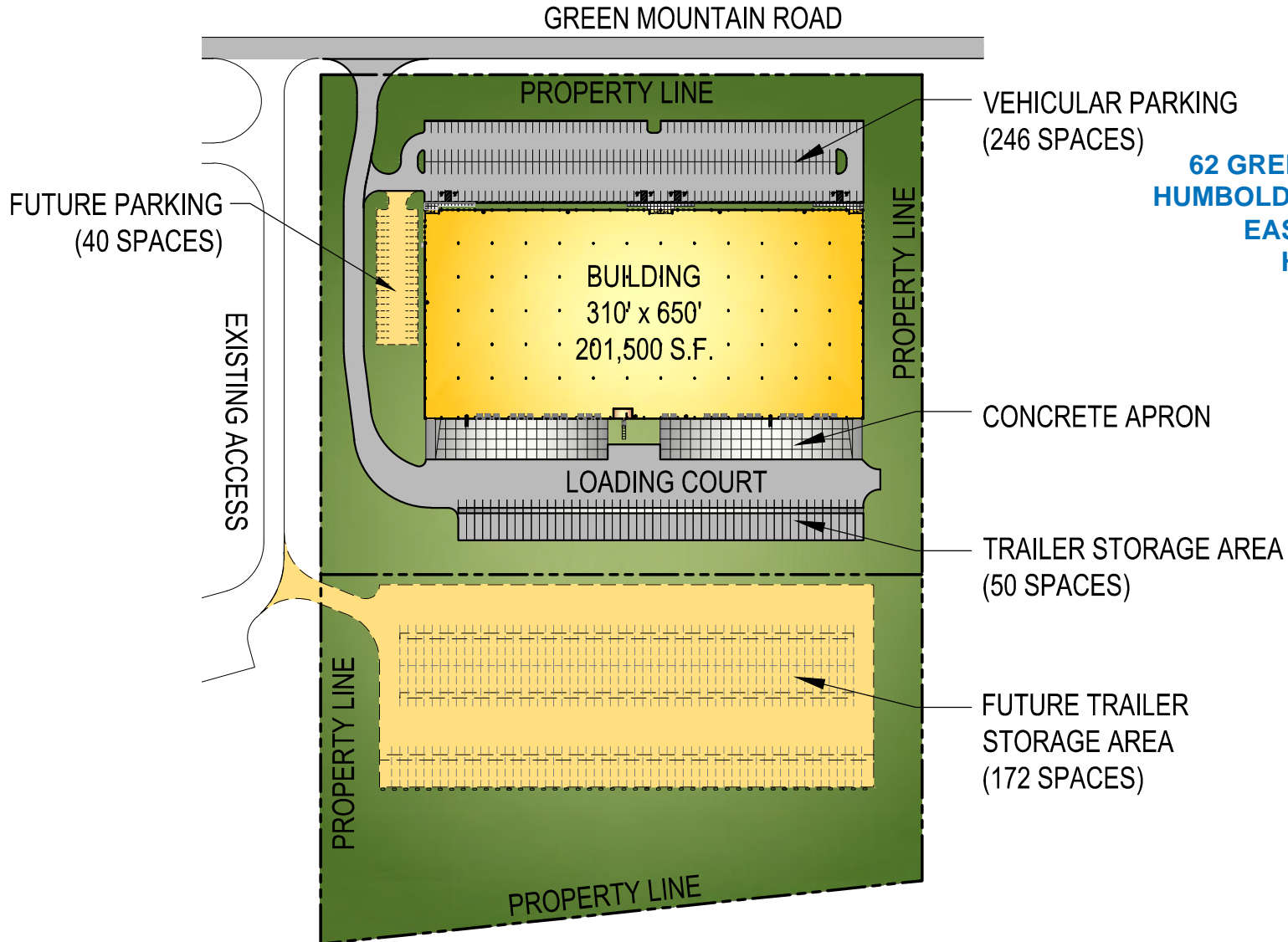


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CONCEPTUAL SITE PLAN

PROPOSED 201,500 S.F. BUILDING



PARCEL #62B
62 GREEN MOUNTAIN ROAD
HUMBOLDT INDUSTRIAL PARK
EAST UNION TOWNSHIP
HAZLETON, PA 18202

These plans have been prepared solely for marketing purposes for the exclusive use of
- Mericle Commercial Real Estate Services

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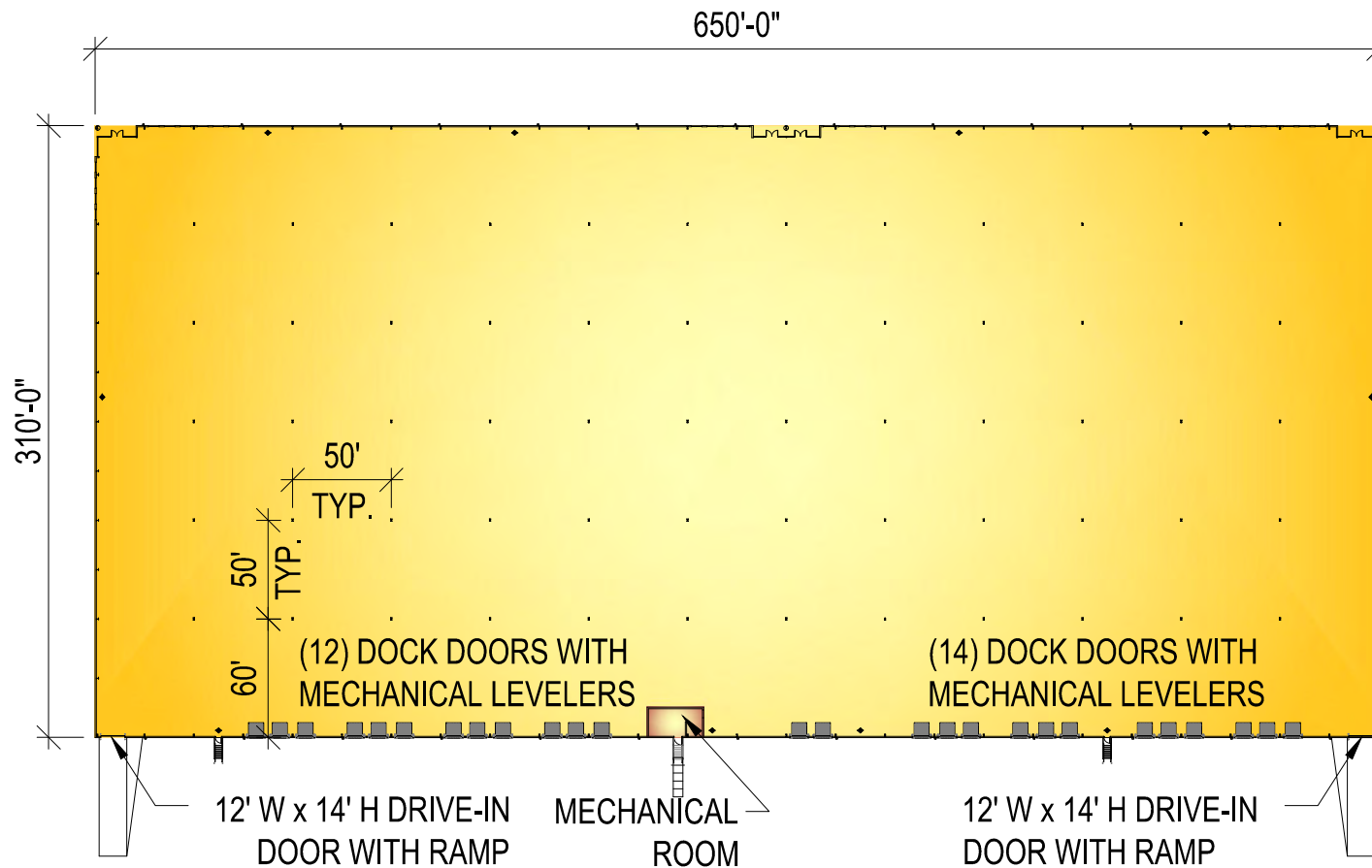
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Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

CONCEPTUAL BUILDING PLAN

PROPOSED 201,500 S.F. BUILDING

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SPECIFICATIONS

PROPOSED 201,500 S.F. BUILDING

PARCEL #62B
62 GREEN MOUNTAIN ROAD
HUMBOLDT INDUSTRIAL PARK
EAST UNION TOWNSHIP
HAZLETON, PA 18202

SITE IMPROVEMENTS

- Site contains approximately 25.39 acres.
- On-site parking for approximately (246) vehicles.
- On-site future parking for approximately (40) vehicles.
- Asphalt paving, including heavy-duty pave for truck traffic.
- 60' wide concrete aprons in loading zone.
- Professionally designed and maintained landscaping.
- Multi-tenant, marquee sign at site entrance.

BUILDING IMPROVEMENTS

- Building contains 201,500 square feet.
- Building dimensions are 650'-0" (length) x 310'-0" (depth).
- 37'-1 1/2" clear structural height at low eave.
- 42'-6 1/2" approximate, clear structural height at high eave.
- 50' x 50' bay spacing with 60' bay at loading wall.
- 7" thick minimum, concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system with insulation.
- Exterior wall system consists of architectural masonry, aluminum frame windows, metal wall panels with insulation, and aluminum frame storefront entrances.
- The building shall contain twenty-six (26) 9'-0" x 10'-0" insulated, vertical-lift dock doors with 30,000 lb capacity mechanical levelers and bumpers.
- The building shall contain two (2) 12'-0" x 14'-0" vertical lift drive-in door with concrete ramp.

UTILITIES AND BUILDING SYSTEMS

- The warehouse heating system shall be energy efficient Cambridge direct-fire units.
- The electrical service shall be 800 amps 480/277 volts, 3-phase, expandable.
- The warehouse lighting shall be energy efficient LED fixtures with lighting levels of 18 -22 FC average.
- Fire Protection System shall be an Early Suppression Fast Response (ESFR) sprinkler system.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

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