

# 15,049 SF

ON 10.02 ACRES AVAILABLE FOR LEASE

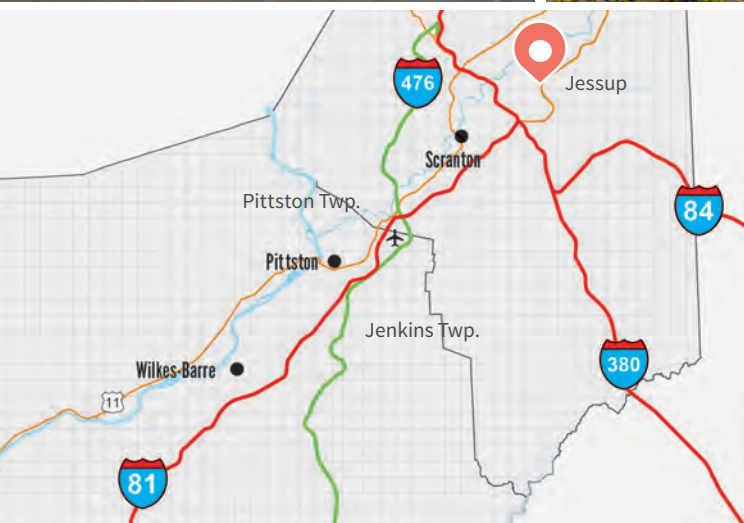
## 1 ALBERIGI DRIVE

JESSUP SMALL BUSINESS CENTER  
JESSUP BOROUGH, PA



## KOEZ APPROVED THROUGH 12/31/2020!

ELIGIBLE COMPANIES ARE EXEMPT FROM A VAST MAJORITY OF STATE AND LOCAL TAXES



The Jessup Small Business Center is conveniently located immediately off Route 6 and offers quick access to I-81, I-84, and I-380. Close to 360,000 people live within 20 miles of the park.

### **DIRECTIONS TO JESSUP SMALL BUSINESS PARK**

Take I-81 to Route 6. Follow Route 6 East (Robert P. Casey Highway) to Exit 3 (Jessup SR 247). Turn right onto SR 247 and travel approximately .35 miles. Turn left into park.



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# PLANS AND SPECIFICATIONS

## SIZE

- **Available Space:** 6,020 SF to 15,049 SF
- **Acreeage:** 10.02 acres
- **Building Dimensions:** 96,000 SF (640' x 150') flex facility

## BUILDING CONSTRUCTION

- **Floor:** 6" concrete floor slab reinforced with welded steel mats
- **Roof:** Precision roll formed Butler MR-24 panels
- **Exterior Walls:** Architectural masonry, aluminum/glazing entrance systems and insulated metal wall panels
- **Column Spacing:** 40'-0" x 50'-0" typical, with a 60'-0" loading bay
- **Ceiling Clear Height:** 30'-6" clear structural height at low eave. 33'-6" clear structural height at high eave.

## LOADING

- **Dock Equipment:** Three (3) 8'-6" x 9'-6" vertical-lift dock doors with 30,000 lb capacity levelers with bumpers

## UTILITIES & SYSTEMS

- **HVAC:** Gas-fired unit heaters or energy-efficient Cambridge rooftop units
- **Electrical Service:** 225 amp, 120/208 volt, 3-phase service (expandable)
- **Warehouse Lighting:** Energy-efficient fluorescent T-bay fixtures with light levels designed to 18-22 foot candles
- **Office Lighting:** 2x4 fluorescent troffers with prismatic lenses
- **Fire Protection:** Ordinary Hazard Class III wet fire protection system, ESFR capable
- **Utilities:** Separately metered. Provisions for domestic water and natural gas shall be provided.

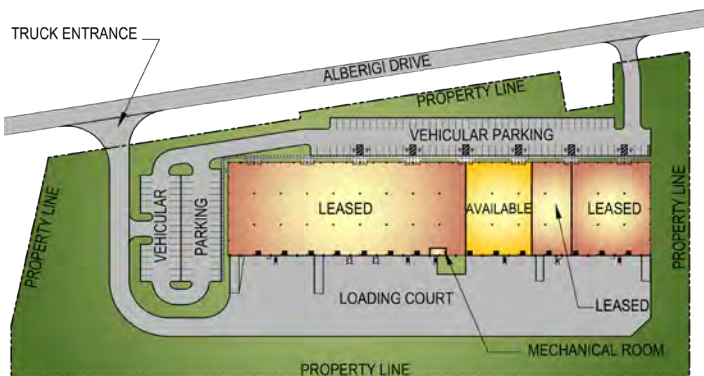
## PARKING

- On-site parking for approximately 92 vehicles
- Asphalt paving including heavy duty pave in truck areas

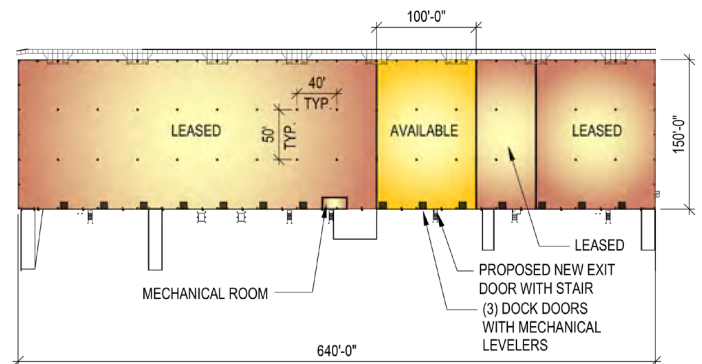
## LOCATION

- Building is located immediately off S.R. 6 and is approx. five minutes from I-81, I-84, and I-380.

## SITE PLAN



## FLOOR PLAN



*Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.*



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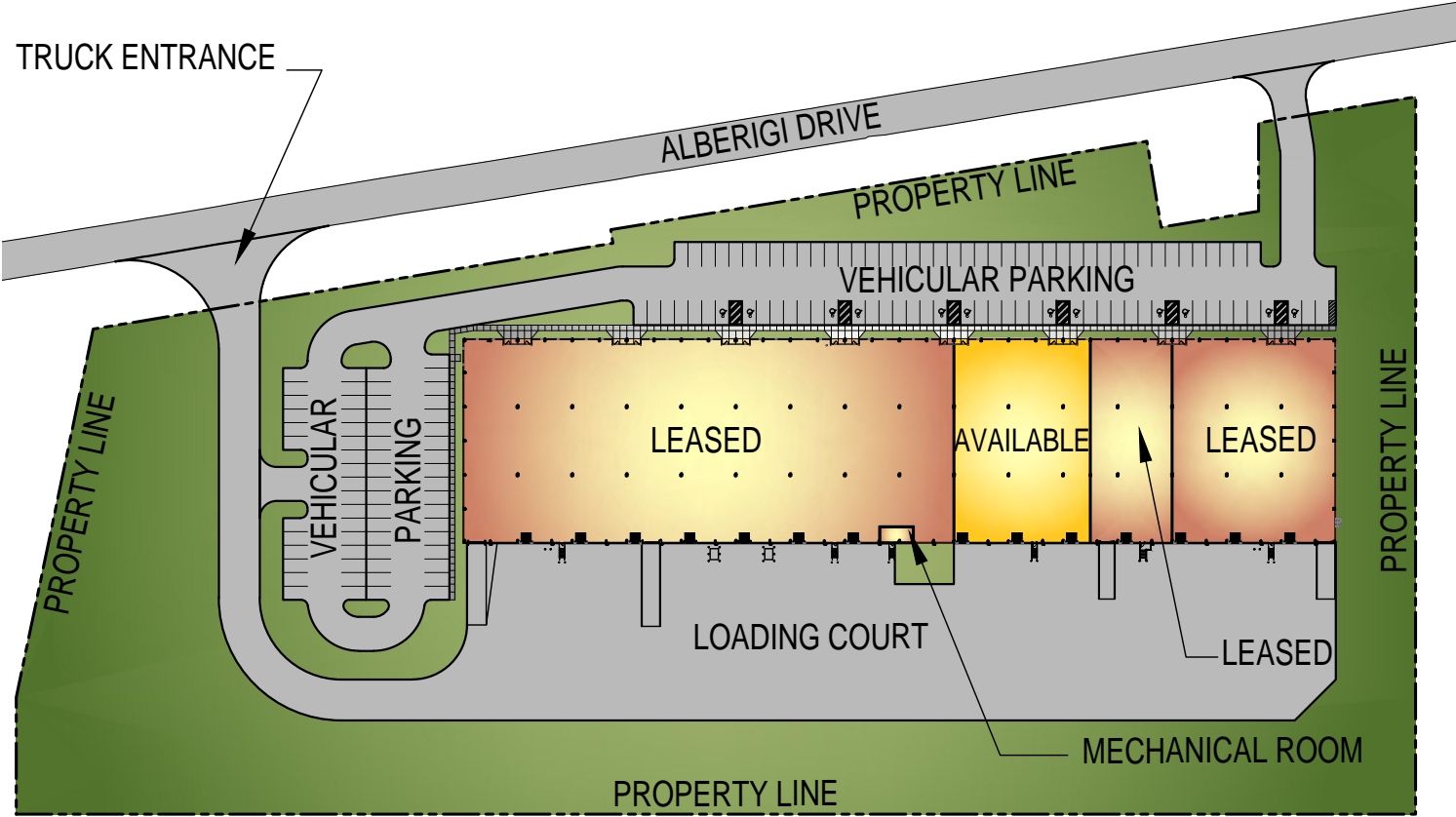
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DEVELOPMENT DIVISION  
**570.823.1100**

# EXISTING SITE PLAN

AVAILABLE 15,049 S.F. SPACE WITHIN AN EXISTING 96,000 S.F. BUILDING

**PARCEL #8**  
**JESSUP SMALL BUSINESS PARK**  
**1 ALBERIGI DRIVE**  
**SUITE #109-111**  
**JESSUP BOROUGH**  
**JESSUP, PA 18434**



|                |        |
|----------------|--------|
| AVAILABLE S.F. | 15,049 |
| PARKING SPACES | 92     |
| ACREAGE        | 10.02  |

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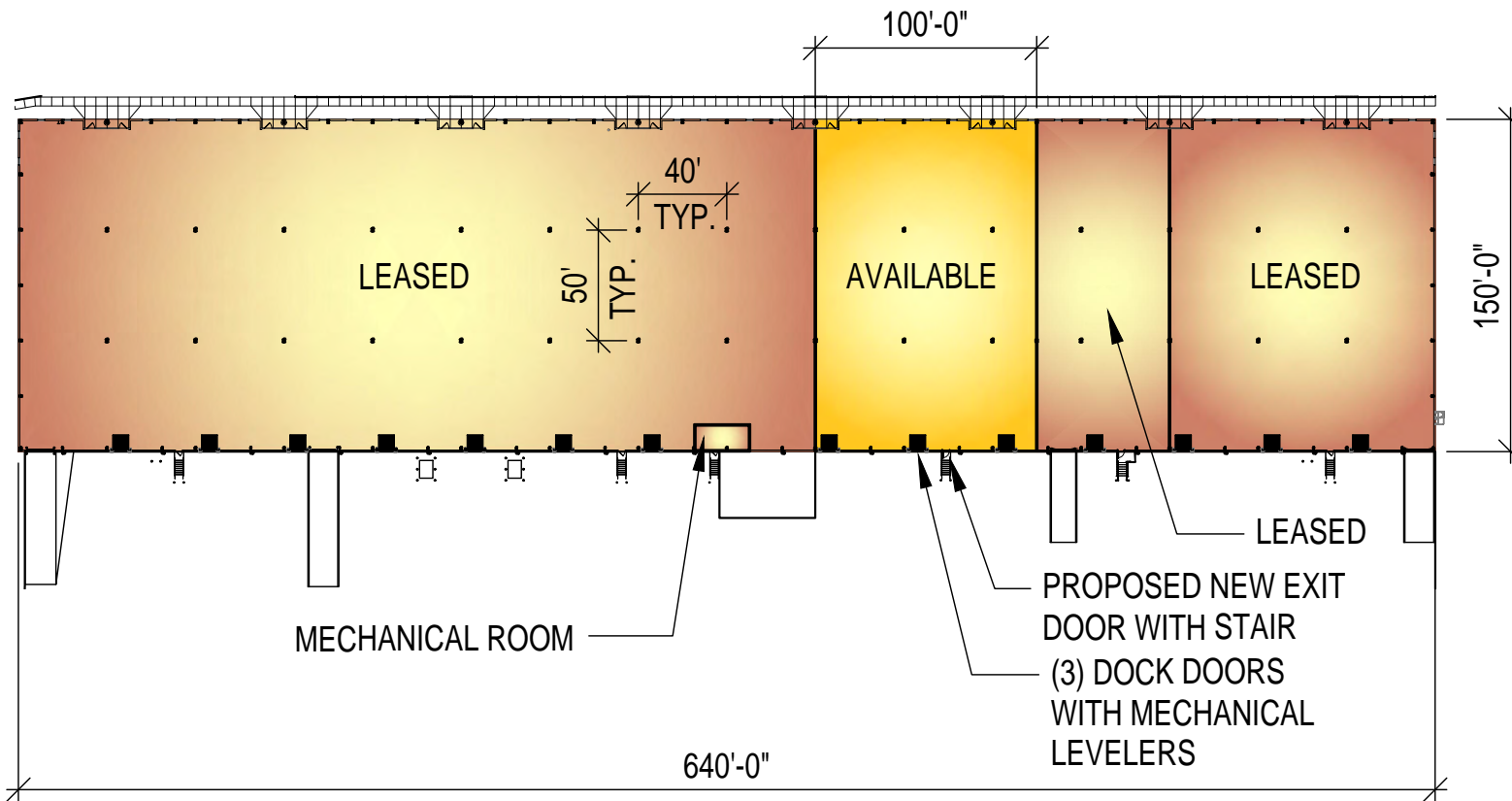
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# EXISTING BUILDING PLAN

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Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

## SPECIFICATIONS

### SITE IMPROVEMENTS

- Site contains approximately 10.02 acres
- On-site parking for approximately 92 vehicles.
- Asphalt paving, including heavy duty pave in truck areas.
- Marquee sign with masonry base at site entrance.
- Professionally prepared landscape design.

### BUILDING IMPROVEMENTS

- Building dimensions are 640'-0" x 150'-0".
- Building contains 96,000 square feet.
- Building has 30'-6" clear structural height at low eave and 33'-6" clear structural height at high eave.
- Available space contains 15,049 square feet.
- Bay spacing is 40'-0" x 50'-0" typical, with a 60'-0" loading bay.
- Floor is 6" thick reinforced concrete floor slab .
- Building roof is precision roll formed Butler MR-24 panels.
- Exterior wall system is constructed with a combination of architectural masonry, aluminum frame entrance system, and insulated metal wall panels.
- Existing warehouse has three (3) 8'-6" x 9'-6" vertical-lift dock doors with 30,000 lb capacity levelers with bumpers.

### UTILITIES AND BUILDING SYSTEMS

- Available electrical service is a 225 AMP, 120/208 volt, 3- phase service, expandable.
- Warehouse lighting is energy efficient fluorescent T-bay Fixtures with light levels designed to 18 - 22 foot candles average. Office lighting shall be 2 x 4 fluorescent troffers with prismatic lenses.
- The Warehouse Area heating system shall be gas-fired unit heaters or energy-efficient *Cambridge* rooftop units.
- Provisions for domestic water and natural gas are provided.
- All utilities shall be separately metered.
- Fire Protection System is an Ordinary Hazard, Class III, ESFR capable.

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EXISTING 96,000 S.F. BUILDING**

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