

38,176

ON 15.64 ACRES

1110 HANOVER STREET
HANOVER INDUSTRIAL ESTATES
SUGAR NOTCH, PA 18706



MODERN FLEX BUILDING

LOCATED IMMEDIATELY OFF ROUTE 29, JUST FIVE MINUTES FROM I-81



DIRECTIONS TO 1110 HANOVER STREET:

Traveling North on I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.25 miles and the building is on the left.

Traveling South on I-81

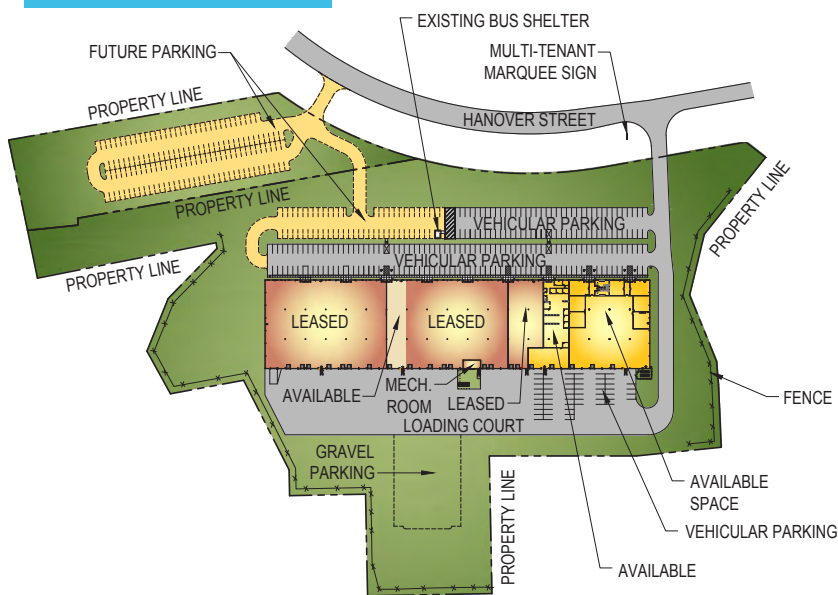
Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.25 miles and the building is on the left.

38,176 SF FOR LEASE

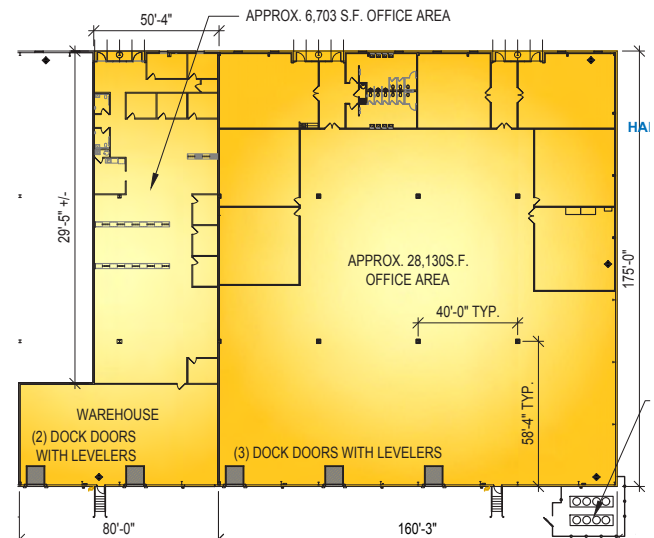
IN NORTHEASTERN PA!



SITE PLAN



FLOOR PLAN



BUILDING SPECIFICATIONS

- **Available Space:** 38,176 square feet, with approximately 110'-3" x 175'-0" dimensions available in a 133,000 SF building.
- **Acresage:** 15.64 acres.
- **Building Dimensions:** 760' (length) x 175' (width).

BUILDING CONSTRUCTION

- **Floor:** 6" thick concrete floor slab reinforced with welded steel mats.
- **Roof:** MR24 standing seam roof system with insulation
- **Column Spacing:** 58'-4" x 40'-0" typical.
- **Clear Ceiling Height:** 30' clear structural height at low eave and 33'-6" clear structural height at high eave.
- **Office Ceiling Height:** Existing Office Spaces have acoustical ceiling tiles at 9'-0" above finish floor with the exception of the large Open Office. Space open to ceiling.
- **Walls:** Exterior wall system constructed with a combination of architectural masonry, aluminum/glazing entrance systems and insulated metal wall panels.

LOADING

- **Dock Equipment:** Five (5) 8'-6" W x 9'-6" H vertical lift, insulated steel dock doors with 30,000 lb capacity mechanical levelers with bumpers.

UTILITIES & SYSTEMS

- **HVAC:** Existing heating and air conditioning is provided by multiple packaged, gas/electric roof top units.
- **Electrical Service:** Combination of a 400 amp and 800 amp, 120/208 volt, 3-phase service. 28,130 S.F. is backed up by a Caterpillar 500kw diesel generator with transfer switch.
- **Data Center Equipment:** Two (2) 10 ton Liebert cooling units with expansion, ducting, and secured exterior condensers, one (1) FM200 fire suppression system, and one (1) telecommunications main grounding bus bar.
- **Telecom Connections:** Two (2) Verizon fiber entrances to the Building Mechanical Room with copper to this available space, one (1) Frontier fiber entrance to this space, and two (2) redundant Zayo (PPL) bandwidth entrances to the Building Mechanical Room.
- **Lighting:** Warehouse lighting is 400 watt metal halide high bay fixtures; office lighting is recessed 2 x 4 fluorescent fixtures with prismatic lenses.
- **Fire Protection:** Ordinary Hazard Class IV commodity wet sprinkler system.
- **Utilities:** Separately Metered, Public Water, Sewer, Gas, and Electric.

PARKING & AMENITIES

- On-site parking for 207 vehicles with 200 proposed future spaces.
- On-site bus shelter.

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Developing Northeastern Pennsylvania's I-81 Corridor Since 1985