

12,881 SF

ON 8.55 ACRES IS AVAILABLE FOR LEASE

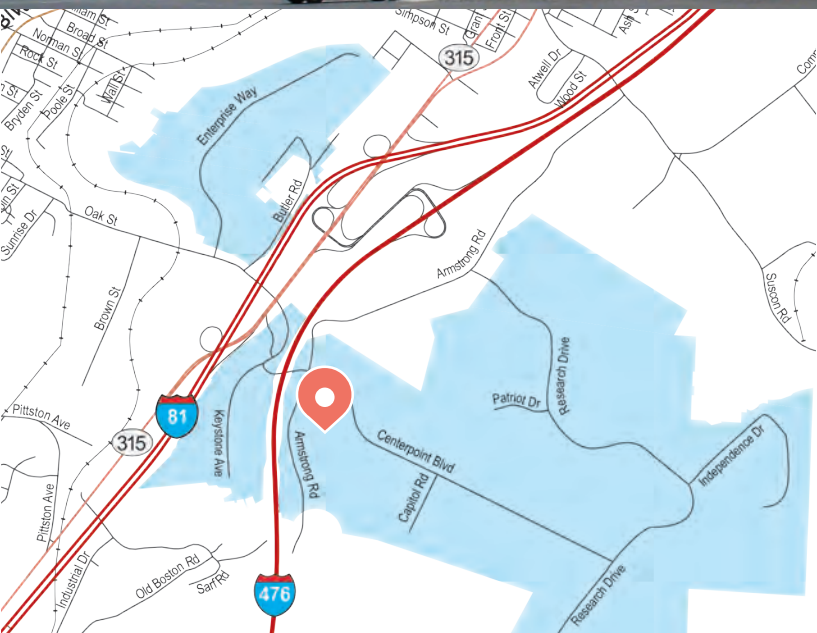
159 CENTERPOINT BLVD.

CENTERPOINT COMMERCE & TRADE PARK EAST
JENKINS TOWNSHIP, PA



PREMIER FLEX SPACE

READYTOGO!™ OFFICE/WAREHOUSE SPACE NEAR I-81 AND I-476



DIRECTIONS TO CENTERPOINT EAST:

Traveling North on I-81 - Take Exit 175 (Pittston/Route 315 North). Once off exit ramp, make first right just before the light at the car dealership. Follow road under I-476 overpass. Proceed straight into park.

Traveling South on I-81 - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.

Traveling on I-476 (PA Turnpike) - Take Exit 115 (Wyoming Valley). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.

PLANS AND SPECIFICATIONS

SIZE

- **Available Space:** 12,881 SF within an existing 84,121 SF flex building
- **Acreage:** 8.55 acres
- **Building Dimensions:** 560'(length) x 150'(depth)

BUILDING CONSTRUCTION

- **Floor:** 6" reinforced concrete floor with welded steel mats
- **Roof:** MR-24 standing seam metal roof system
- **Exterior Walls:** Architectural masonry, aluminum/glazing entrance systems and insulated metal wall panels
- **Office:** Interior office finishes are upgraded with carpet tile, wallpaper, and ceramic wall tile in restrooms.
- Break Room comes equipped with refrigerator, microwave, and dishwasher.
- **Ceiling Clear Height:** 30'-6" to 33'-6"
- **Column Spacing:** 40' X 50' bay spacing

LOADING

- **Dock Equipment:** Two (2) 8'-6" X 9'-6" vertical lift, insulated steel dock doors with 30,000 lb. capacity mechanical levelers with bumpers.
- One (1) 10' x 12' vertical lift, insulated steel drive-in door with 14' x 30' precast concrete ramp.

UTILITIES

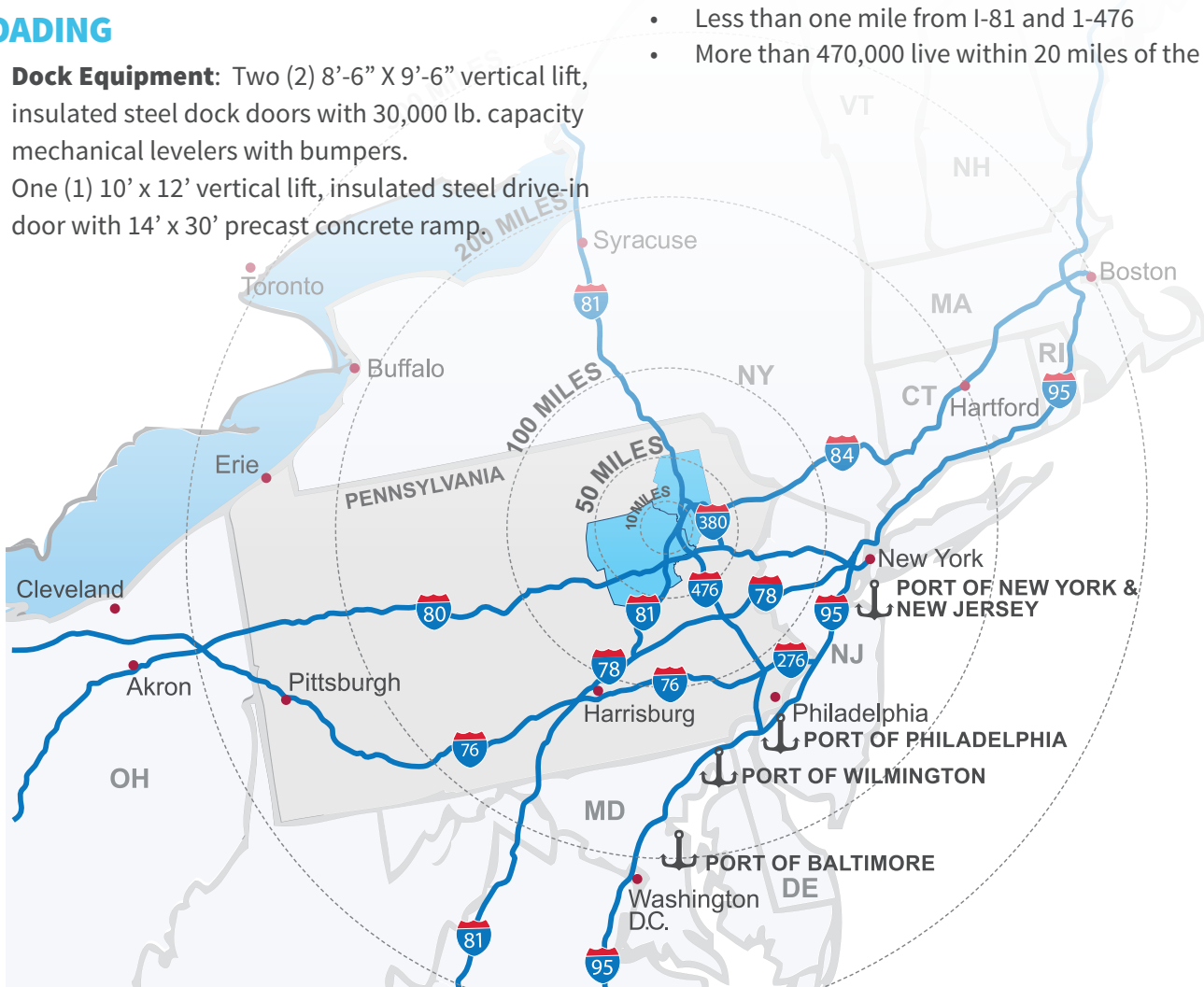
- **HVAC Warehouse Area:** Energy-efficient modine gas fired unit heaters
- **HVAC Office Area:** Packaged roof top units
- **Electrical Service:** 1600 amp, 120/208 volt, 3-phase service
- **Lighting Warehouse Area:** Energy-efficient fluorescent T-bay fixtures with lighting levels of 18-22 FC average
- **Lighting Office Area:** 2 x 4 fluorescent troffers with parabolic lenses
- **Fire Protection:** Ordinary Hazard Class III wet sprinkler system
- **Utilities:** All utilities shall be separately metered
- Provisions for domestic water and natural gas are provided.

PARKING

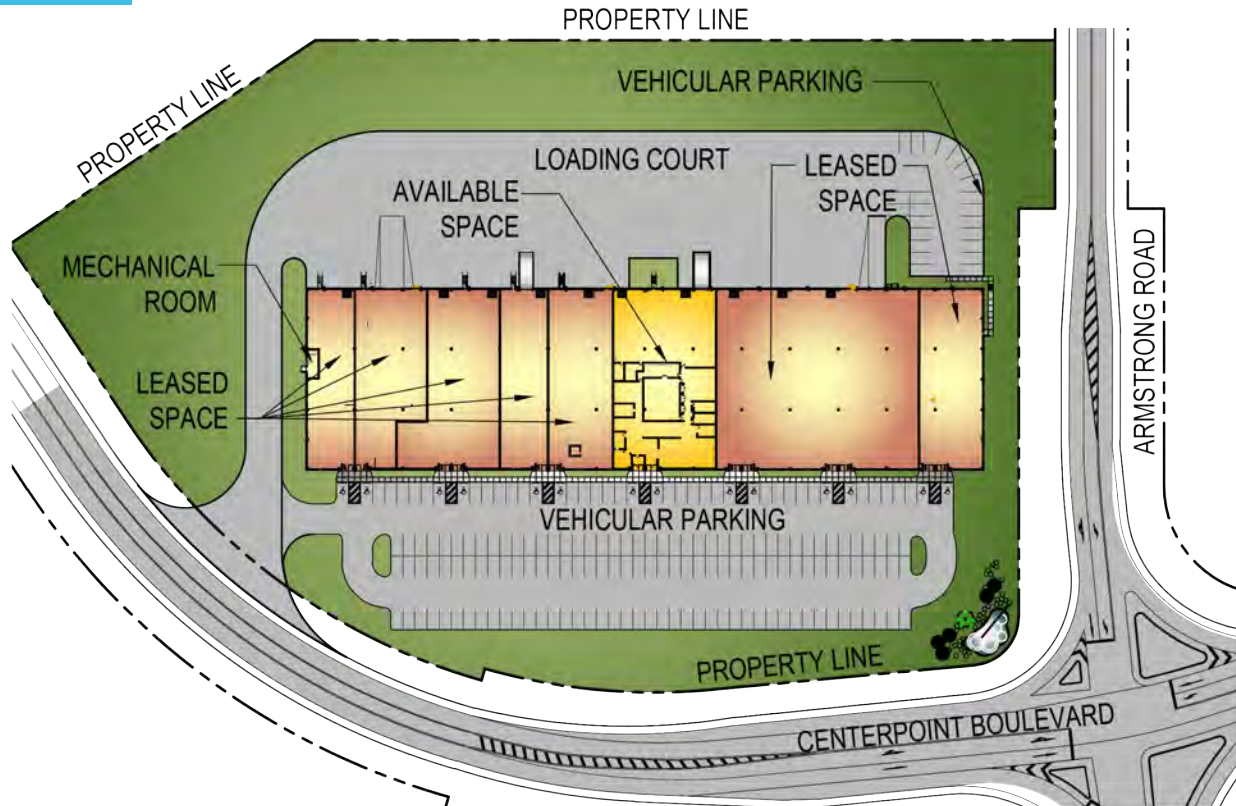
- On-site parking for approximately 23 vehicles.
- Asphalt paving including heavy duty pave in truck areas.

LOCATION

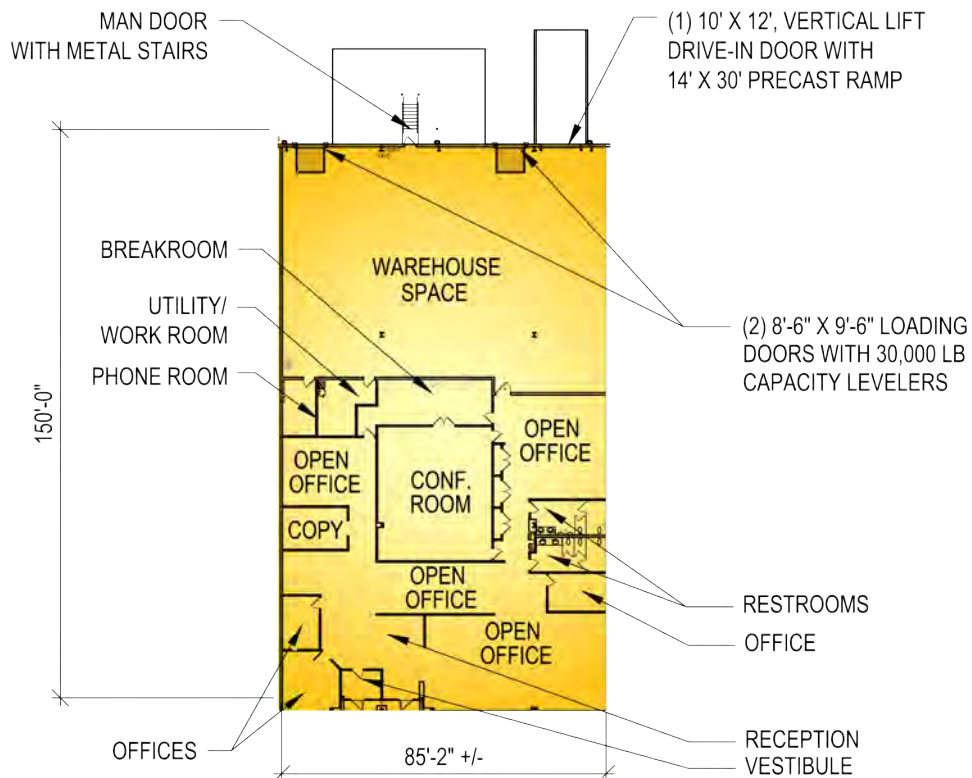
- Less than one mile from I-81 and I-476
- More than 470,000 live within 20 miles of the park



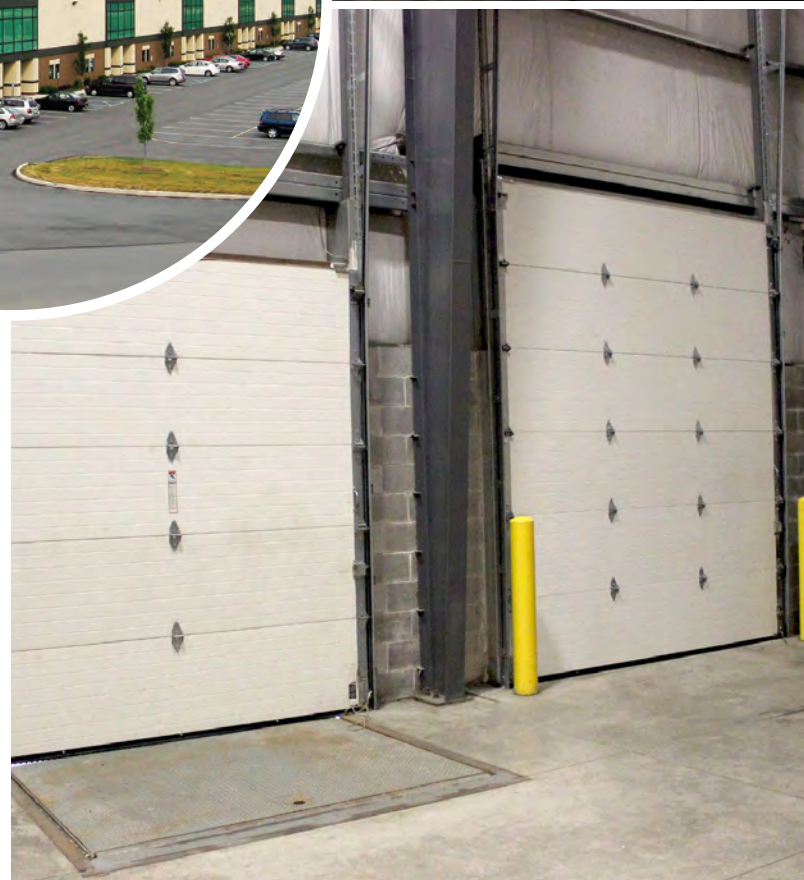
SITE PLAN



FLOOR PLAN



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.



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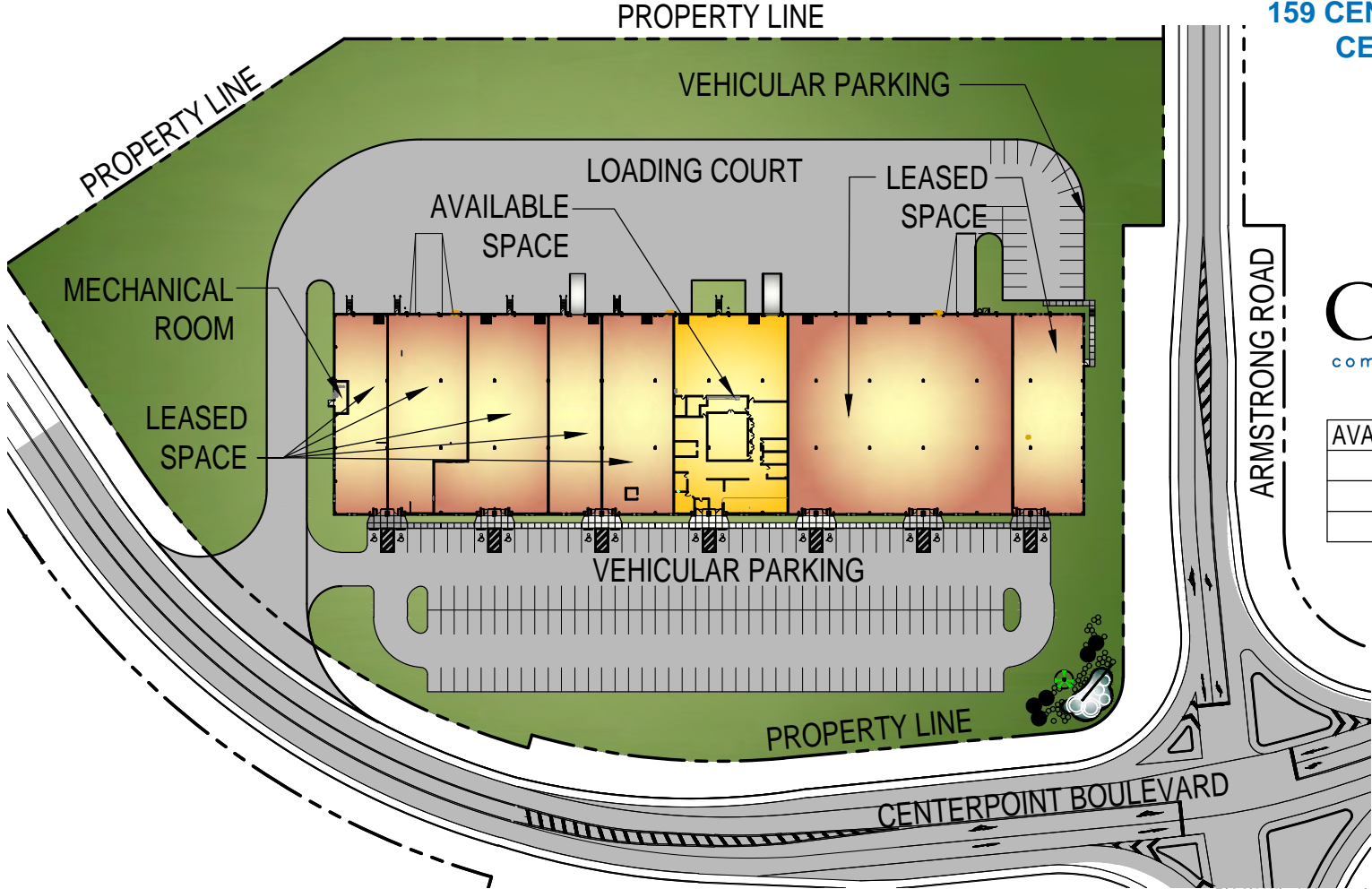
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To learn more, please call one of us at **570.823.1100** to request a proposal and/or arrange a tour.

EXISTING SITE PLAN

AVAILABLE 12,881 S.F. SPACE WITHIN AN EXISTING 84,121 S.F. BUILDING

PARCEL #2
 159 CENTERPOINT BOULEVARD
 CENTERPOINT COMMERCE
 AND TRADE PARK-EAST
 JENKINS TOWNSHIP
 PITTSTON, PA 18640



AVAILABLE PARKING SPACES	23
AVAILABLE DOCK DOORS	2
DRIVE-IN DOOR	1
ACREAGE	8.55

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 East Mountain Corporate Center
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 Wilkes-Barre, PA 18702
Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

159 CenterPoint Boulevard
CenterPoint East, Jenkins Twp., PA

12,881 SF



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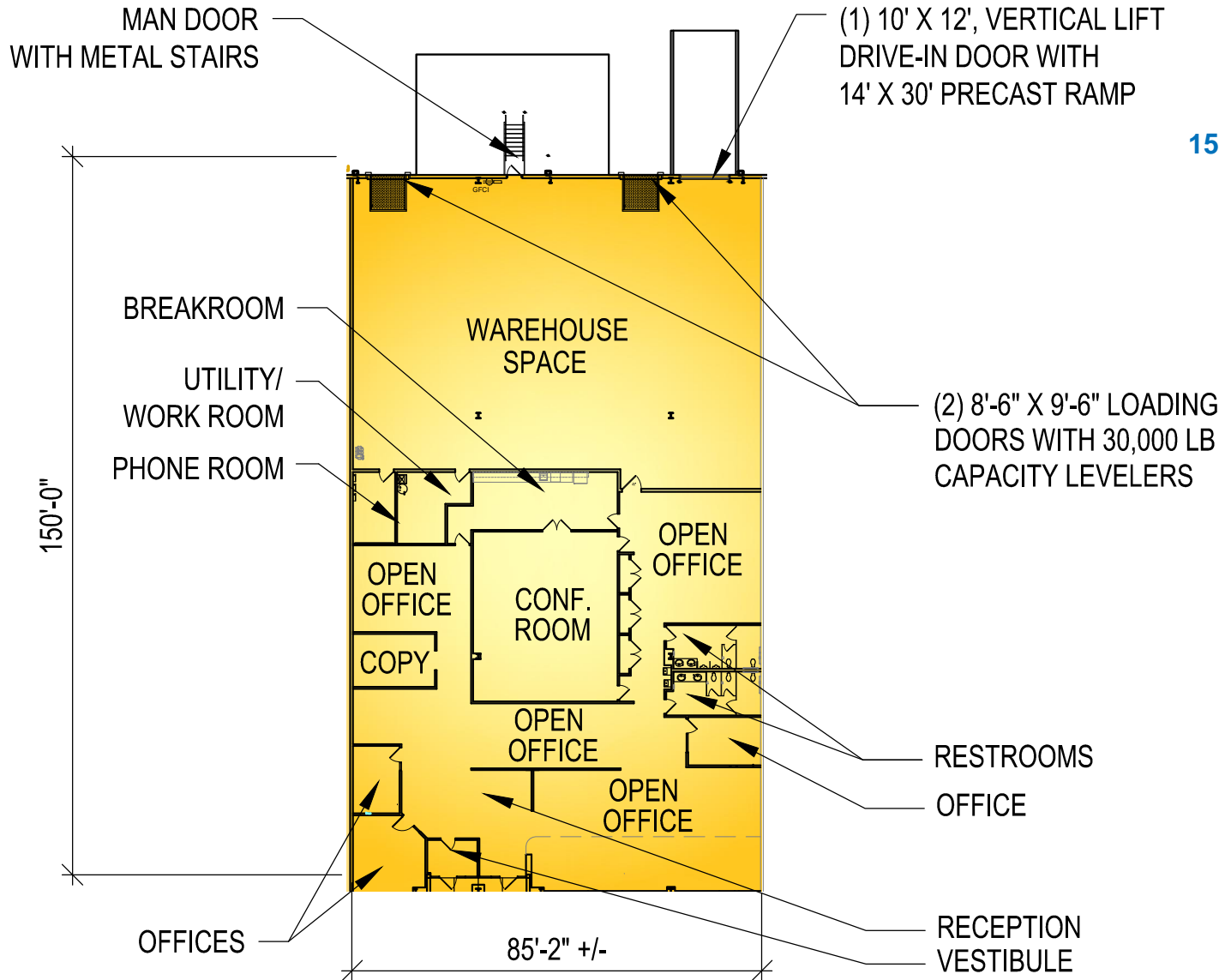
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EXISTING FLOOR PLAN

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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 8.55 Acres.
- On-site parking for approximately (23) vehicles.
- Asphalt paving including heavy duty pave in truck areas.
- Marquee sign at site entrance.
- Water feature onsite.
- Professionally prepared landscape design.

BUILDING IMPROVEMENTS

- Building contains 84,121 square feet.
- Building dimensions 560' (length) X 150' (depth).
- Available space contains 12,881 square feet.
- 30'-6" clear structural height at low eave and 33'-6" clear structural height at high eave.
- 40' X 50' bay spacing.
- 6" thick concrete floor slab reinforced with welded steel mats.
- MR-24 standing seam roof system.
- Exterior wall system consisting of architectural masonry, aluminum glazing entrance system, and insulated metal wall panels.
- The available space contains two (2) 8'-6" X 9'-6" vertical lift, insulated steel dock doors with 30,000 lb. capacity mechanical levelers with bumpers.
- The available space contains one (1) 10' x 12' vertical lift, insulated steel drive-in door with 14' x 30' precast concrete ramp
- The interior office finishes are upgraded with carpet tile, wallpaper, and ceramic wall tile in restrooms.
- Break Room comes equipped with refrigerator, microwave, and dishwasher.

UTILITIES AND BUILDING SYSTEMS

- Heating in warehouse is energy efficient modine gas fired unit heaters.
- The Office Area is conditioned by packaged roof top units.
- Electrical service is a 1,600 amp, 120/208 V, 3 phase service.
- Warehouse lighting is energy efficient fluorescent T-bay fixtures with lighting levels of 18-22 FC average.
- The Office Area lighting is 2 x 4 fluorescent troffers with parabolic lenses.
- Fire protection system is an Ordinary Hazard Class III wet sprinkler system.
- Provisions for domestic water and natural gas are provided.
- Utilities are separately metered.

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AN EXISTING 84,121 S.F. BUILDING**

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