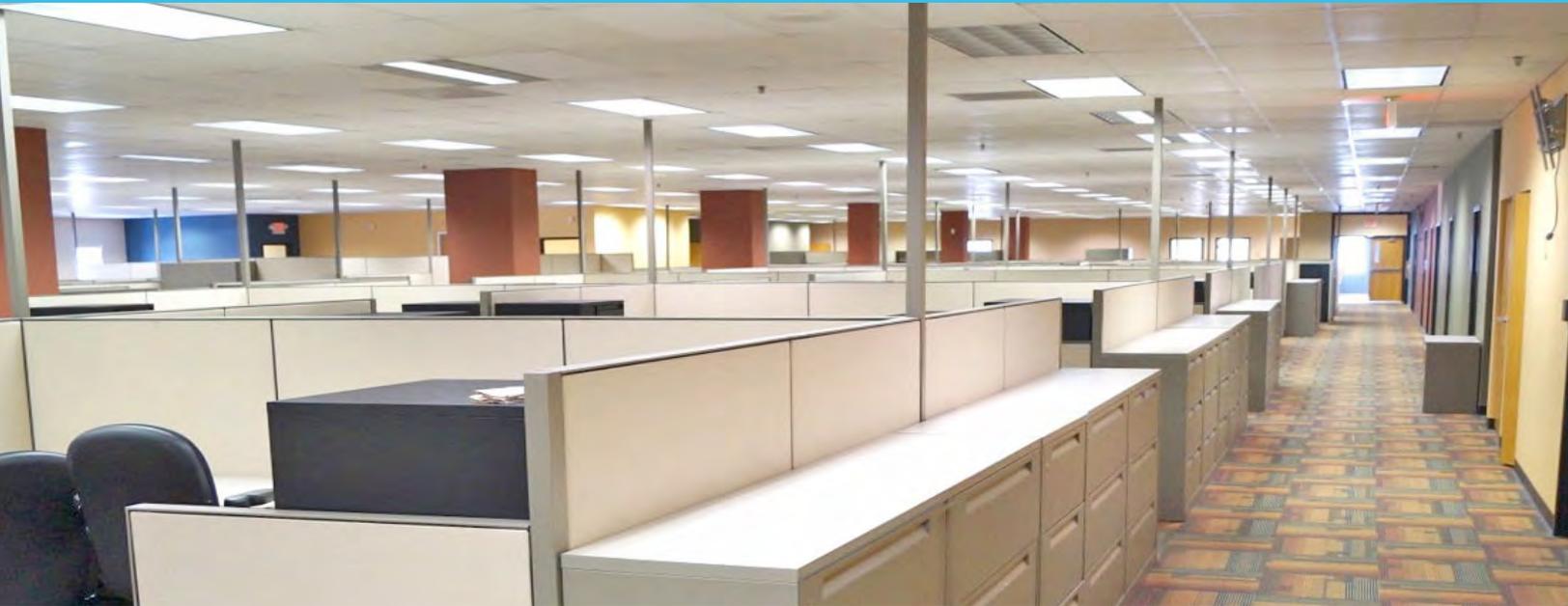


10,000 SF PLUG N' PLAY

ON 5.45 ACRES

19 BERT COLLINS DRIVE
KEYSTONE INDUSTRIAL PARK
THROOP, PA



10,000 SF OFFICE SPACE AVAILABLE

SPACE IS FIT-OUT AS OFFICE SPACE/CALL CENTER SPACE. EXISTING FURNITURE SYSTEMS AND EQUIPMENT SHALL REMAIN.



DIRECTIONS TO KEYSTONE INDUSTRIAL PARK:

Traveling North on I-81

Follow I-81 North, then follow the split to the right to take Exit 188. Drive approximately one mile. Bear to the right and turn right onto S.R. 347. Drive approximately 3/10ths of one mile. Entrance to Keystone Industrial Park will be on your right.

Traveling South on I-81

Follow I-81 South. Take Exit 188. Stay to the left. Turn left onto S.R. 347. Drive approximately 1/2 mile. Entrance to Keystone Industrial Park will be on your right.

PLANS AND SPECIFICATIONS

SIZE

- Building contains 40,000 S.F. on 5.45 acres.
- Available space is approximately 100' wide x 100' deep or 10,000 S.F.

BUILDING CONSTRUCTION

- The existing building has a steel structure with masonry walls and metal panel walls, concrete floor slab, and metal roof.
- The available space contains aluminum frame, thermally broken, window frames with insulated glass and matching full glass entrance doors at the entrance.
- The entire 10,000 S.F. space is fit-out as office space/call center space. Existing furniture, furniture systems, and equipment shall remain.
- The existing upgraded interior finishes include upgraded carpet tile flooring, porcelain tile and base at the entrance vestibule, and painted walls and trim with multiple accent colors.
- Available space has an existing acoustical suspended ceiling system at approximately 9'-0" above finish floor.
- Column spacing: 50'0" x 25'0"

UTILITIES

- Available space has a 400 amp 480/277 volt 3 phase, electrical service.
- Available space has existing general lighting with 2 x 4 fluorescent troffer fixtures with parabolic lenses.
- Available space has existing heating and cooling supplied by electric/gas roof top packaged units.
- Available space has an existing, Class III, light hazard sprinkler system.
- Metered domestic water and natural gas are available.
- All utilities shall be separately metered.

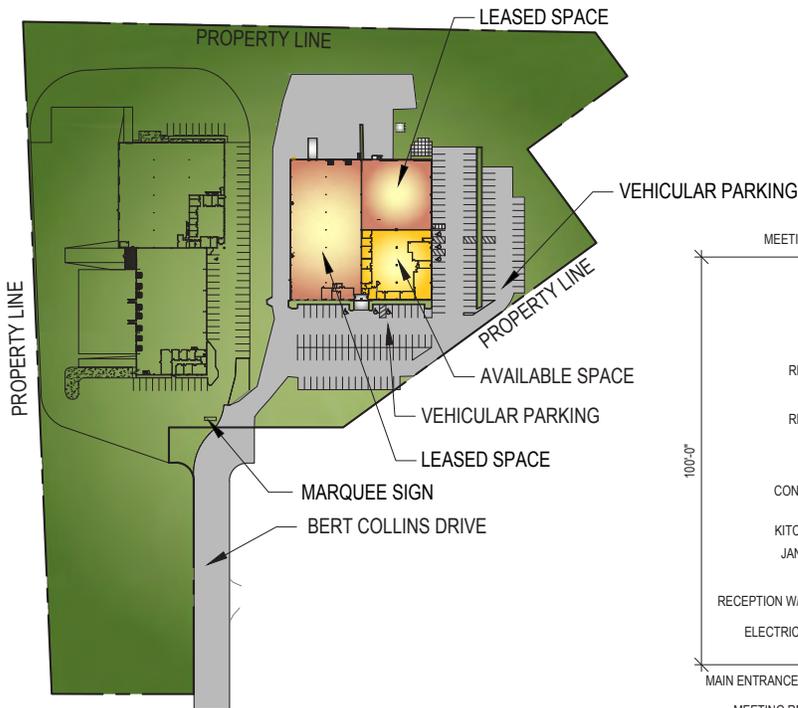
LOCATION

- Park is located immediately off I-81 and is less than five minutes from I-380 and I-84.
- Excellent labor draw area. More than 335,000 people live within 20 miles.

PARKING & AMENITIES

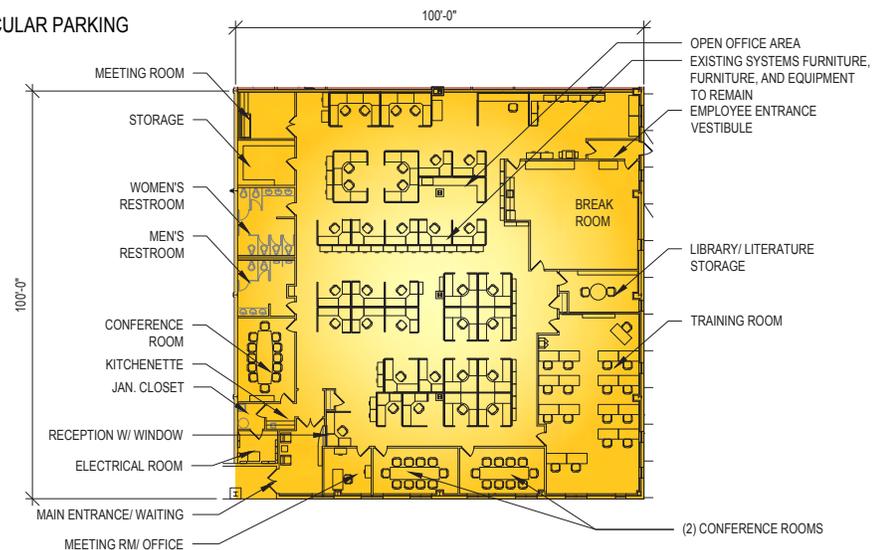
- On-site parking available for up to 77 vehicles.
- Asphalt paved parking lot with professionally maintained landscaping.
- Marquee sign at entrance to site.

SITE PLAN



FLOOR PLAN

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions



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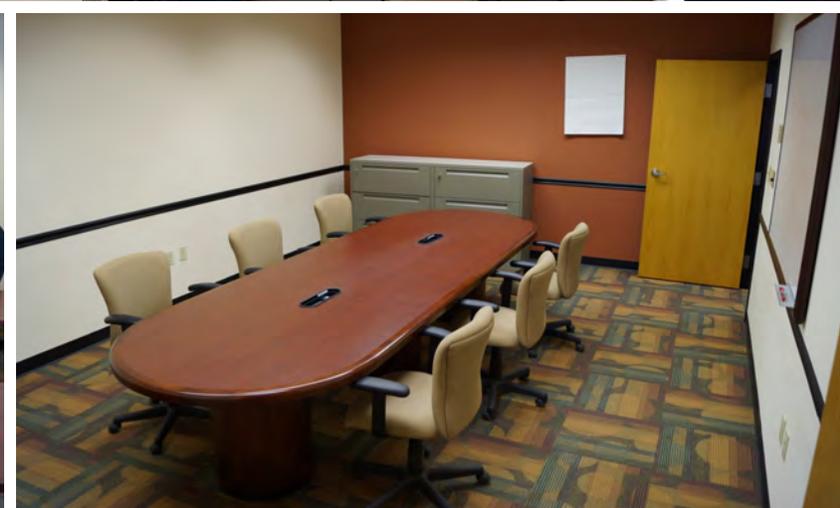
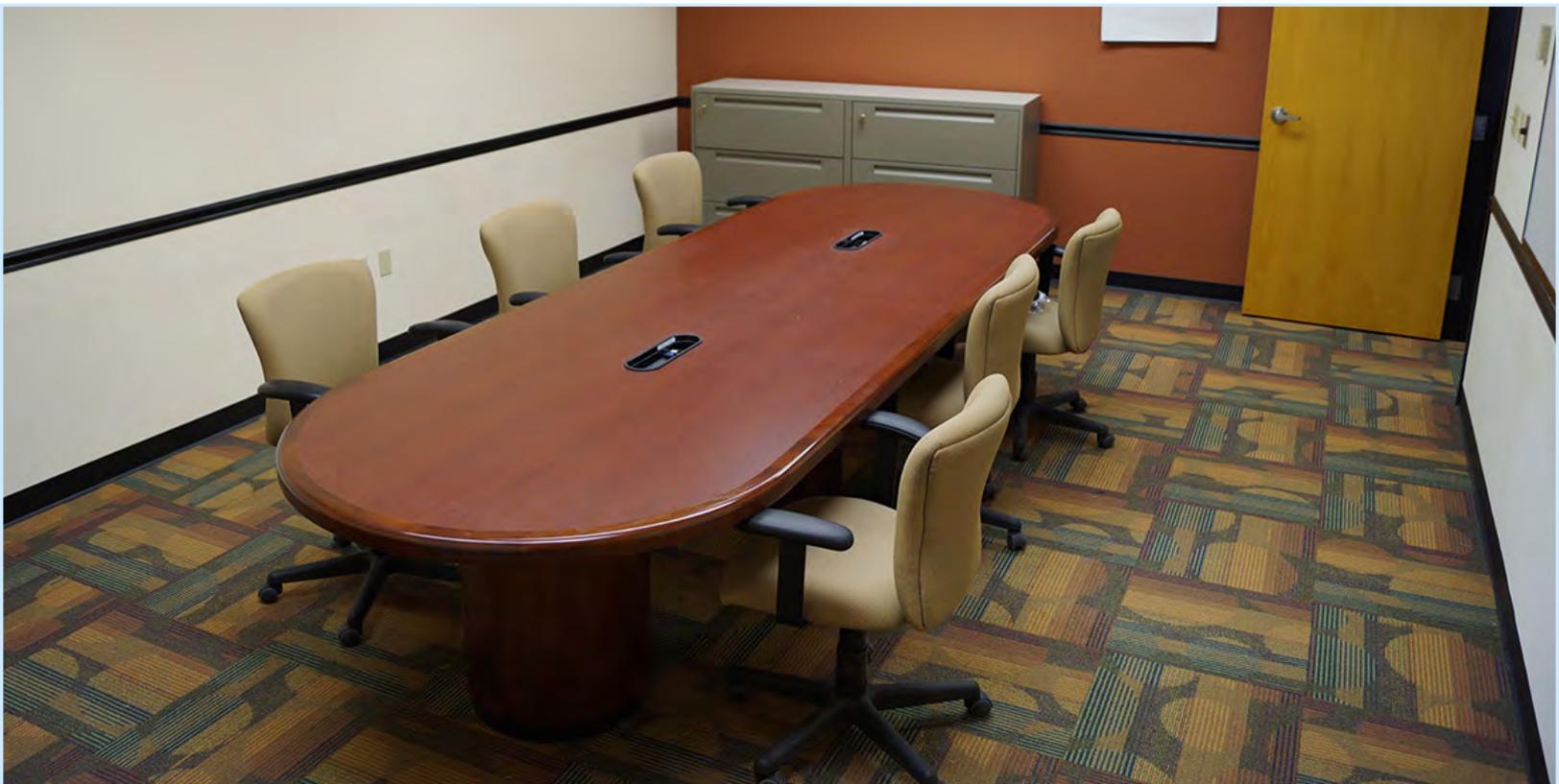


PHOTO COLLAGE

19 BERT COLLINS DRIVE
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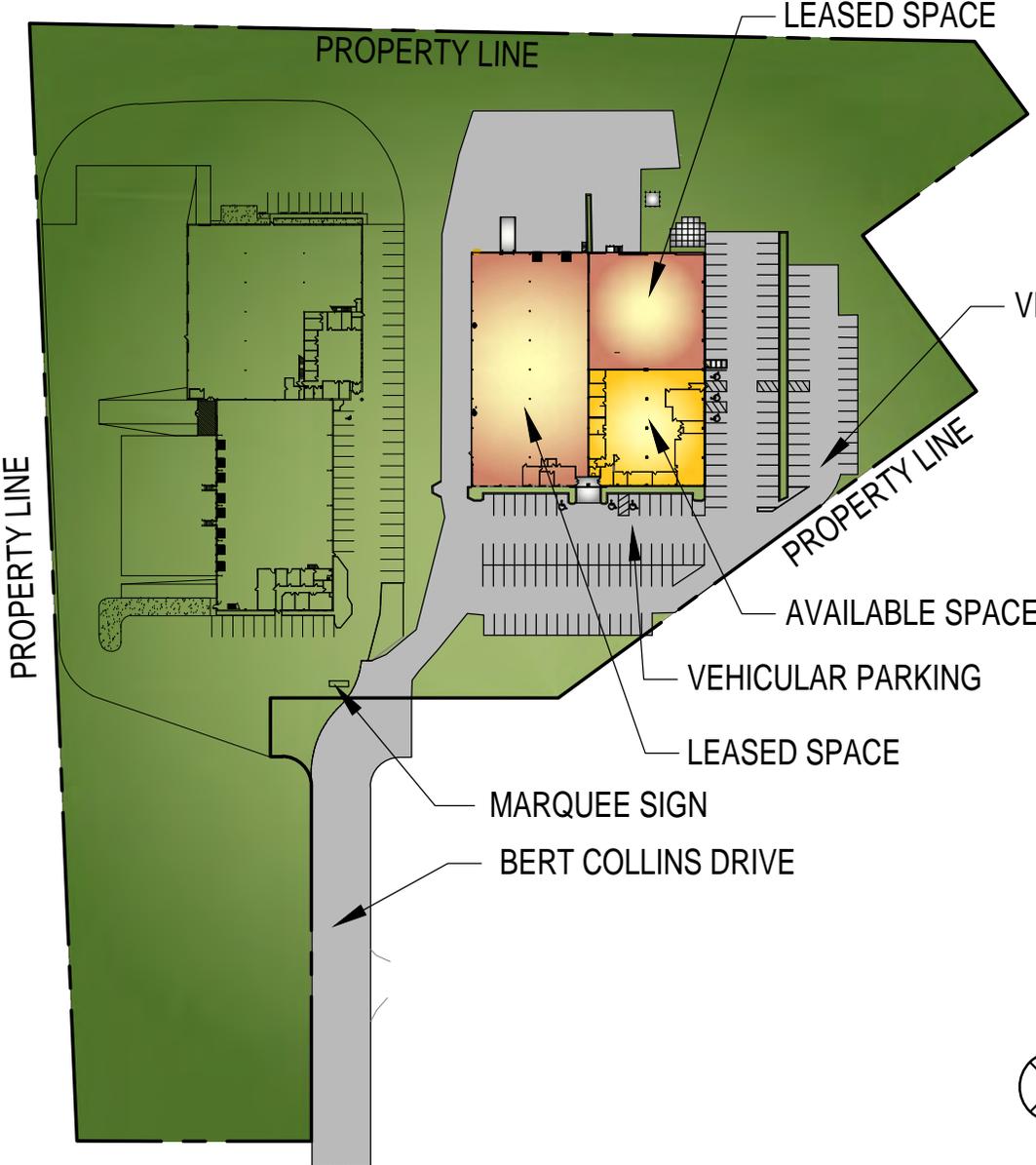
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EXISTING SITE PLAN

**AVAILABLE 10,000 S.F. SPACE
WITHIN AN EXISTING 40,000 S.F. BUILDING**

**19 BERT COLLINS DRIVE
KEYSTONE INDUSTRIAL PARK
THROOP BOROUGH
SCRANTON, PA 18512**



AVAILABLE S.F.	10,000 S.F.
AVAILABLE PARKING	99
ACREAGE	5.45

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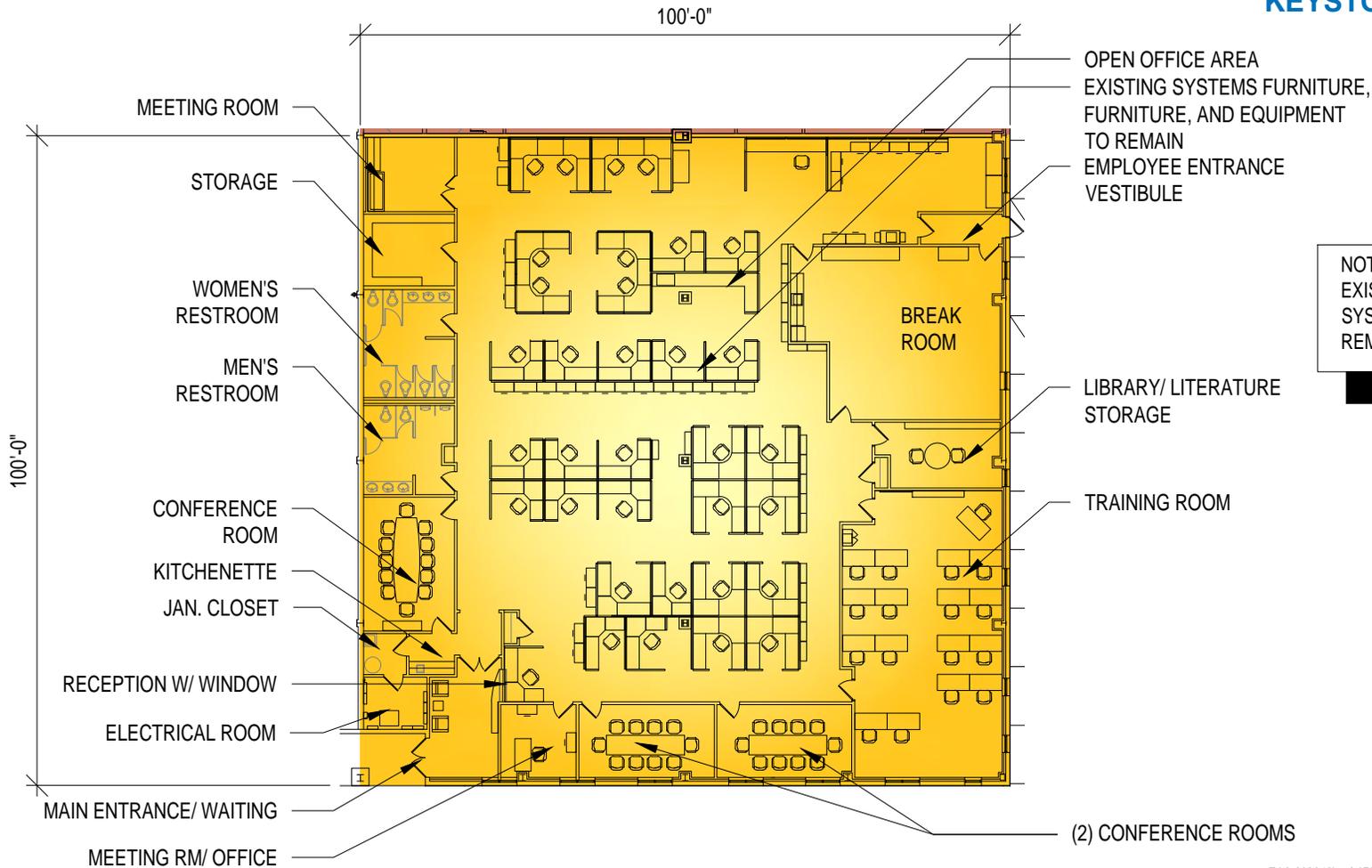
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EXISTING FLOOR PLAN

AVAILABLE 10,000 S.F. SPACE
WITHIN AN EXISTING 40,000 S.F. BUILDING

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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains 5.45 acres.
- On-site parking available for up to 99 vehicles.
- Asphalt paved parking lot with professionally maintained landscaping.
- Marquee sign at entrance to site.

BUILDING IMPROVEMENTS

- Building contains 40,000 S.F.
- Available space is approximately 100' wide x 100' deep or 10,000 S.F.
- The existing building has a steel structure with masonry walls and metal panel walls, concrete floor slab, and metal roof.
- The available space contains aluminum frame, thermally broken, window frames with insulated glass and matching full glass entrance doors at entrance.
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**AVAILABLE 10,000 S.F. SPACE
WITHIN AN EXISTING 40,000 S.F. BUILDING**

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