

# 109,516 SF

ON 24.31 ACRES

**225 ENTERPRISE WAY**  
CENTERPOINT COMMERCE & TRADE PARK WEST  
PITTSTON TOWNSHIP, PA



## EXPANDABLE TO 196,129 SF

**LERTA APPROVED!** MULTI-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



### DIRECTIONS TO CENTERPOINT WEST:

**Traveling North on I-81** - Take Exit 175 (Pittston/Route 315 North). Merge onto Route 315 north. At second traffic signal, turn left onto Oak Street. Drive 0.3 miles, entrance on right.

**Traveling South on I-81** - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 0.3 miles, entrance on right.

**Traveling on I-476 (PA Turnpike)** - Take Exit 115 (Route 315/ Wyoming Valley). Follow Rt. 315 south 1/4 mile to first traffic signal. Turn right at traffic signal (Oak Street). Drive 0.3 miles, entrance on right.

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# PLANS AND SPECIFICATIONS

## BUILDING

- **Available Space:** 109,516 SF
- Space can be expanded to approx. 196,129 SF
- **Acreage:** 24.31 acres
- **Building Size:** 223,387 SF
- **Building Dimensions:** 720' (length) x 310' (depth)

## BUILDING CONSTRUCTION

- **Floor:** 6" thick concrete floor slab reinforced with welded steel mats
- **Roof:** MR24 standing seam metal roof system with insulation
- **Exterior Walls:** Architectural masonry, aluminum/glazing entrance systems, and metal wall panels with insulation
- Thirty-one (31) 6'w x 3'h clerestory windows

## LOADING

- **Ceiling Clear Height:** 32' - 36'10"
- **Column Spacing:** 40' x 50' column spacing with 60' at loading dock
- **Dock Equipment:** Fourteen (14) 9' x 10' insulated steel dock doors with 30,000lb. capacity mechanical levelers with bumpers
- 8" thick, 60' deep reinforced concrete apron at loading dock
- 8" thick, 8' wide concrete dolly pad at trailer storage area

## UTILITIES & SYSTEMS

- **HVAC:** Energy-efficient direct-fired industrial space heaters
- **Electrical Service:** 800 amp, 277/480 V, 3-phase (expandable to 4000 amp)
- **Warehouse Lighting:** Energy-efficient fluorescent T-bay fixtures with levels of 18-22 FC
- **Fire Protection:** ESFR wet sprinkler system
- **Utilities:** Separately Metered, Public Water, Sewer, Natural Gas, and Electric

## PARKING

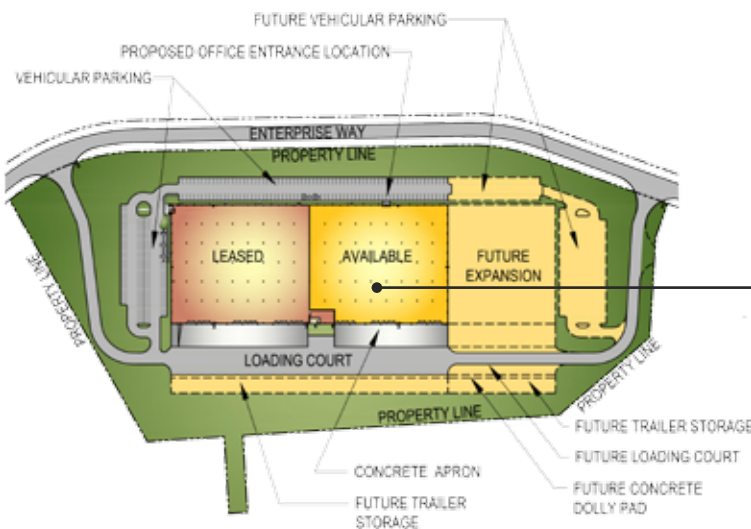
- **Vehicular Parking:** On-site parking for approx. 92 vehicles and 149 future spaces
- **Trailer Parking:** Future on-site trailer storage for approx. 83 trailers

## LOCATION

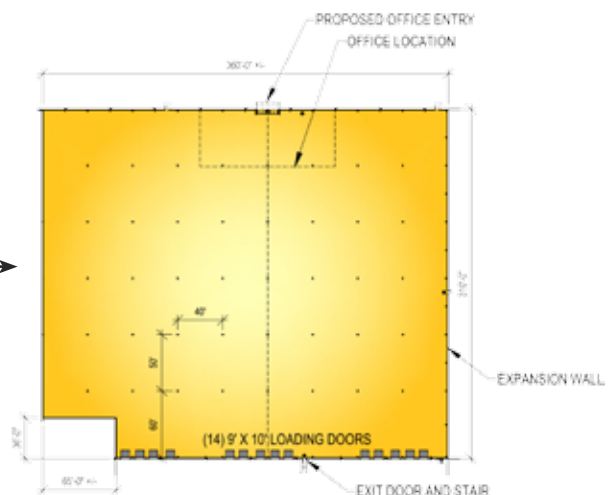
- Less than one mile from I-81 and I-476
- More than 470,000 live within 20 miles of the park

*Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.*

## SITE PLAN



## FLOOR PLAN





# 225 ENTERPRISE WAY

CENTERPOINT WEST • PITTSTON TOWNSHIP, PA

## 109,516 SF



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100 Baltimore Drive  
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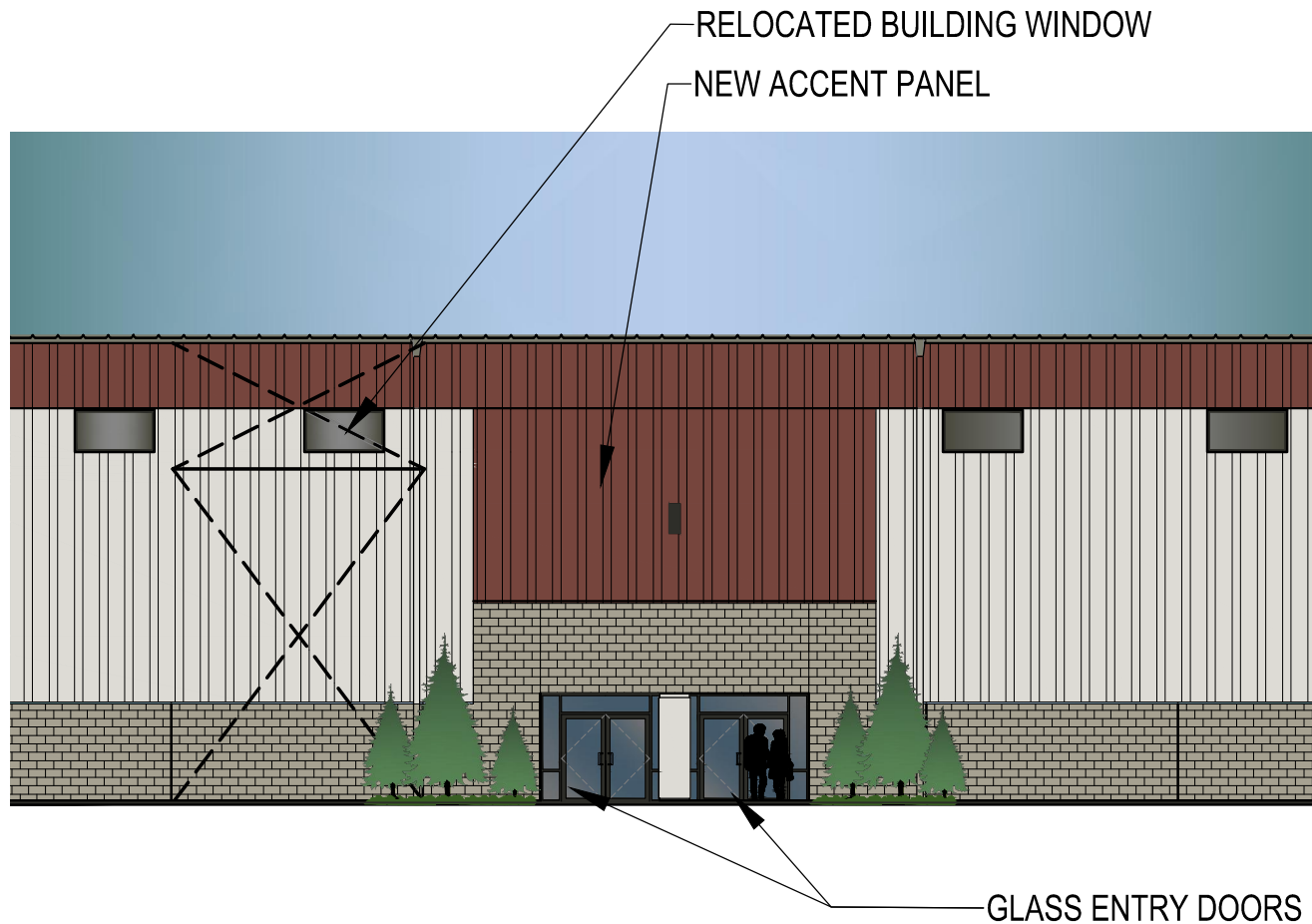
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## PROPOSED ENTRANCE

AVAILABLE 109,516 S.F. SPACE WITHIN AN  
EXISTING 223,387 S.F. BUILDING  
EXPANDABLE TO 310,000 SF

PARCEL #6  
225-315 ENTERPRISE WAY  
CENTERPOINT WEST  
COMMERCE AND TRADE PARK  
PITTSBURGH TOWNSHIP  
PITTSBURGH, PA 15106



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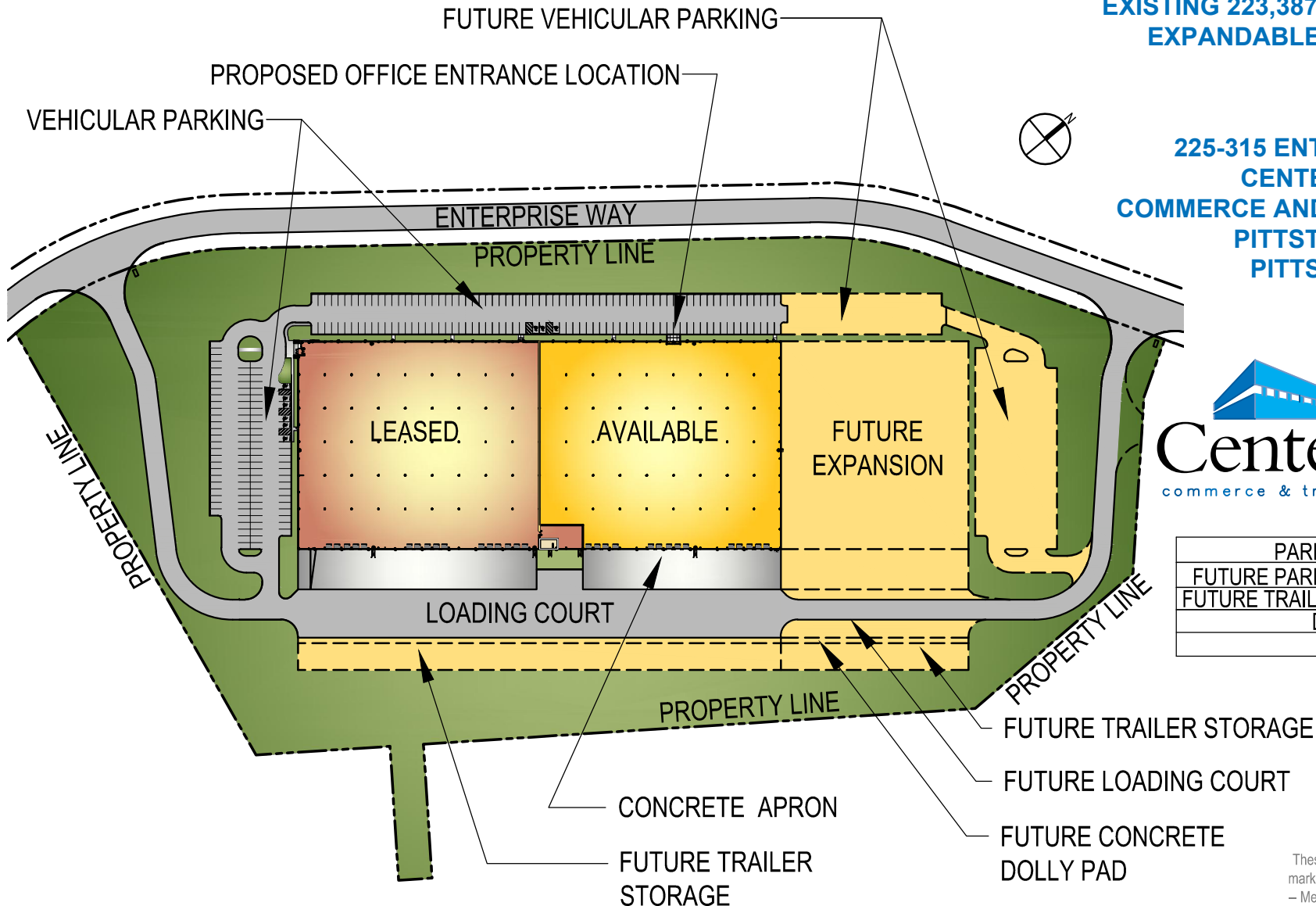
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PARKING SPACES	92
FUTURE PARKING SPACES	149
FUTURE TRAILER STORAGE	83
DOCK DOORS	14
ACREAGE	24.31



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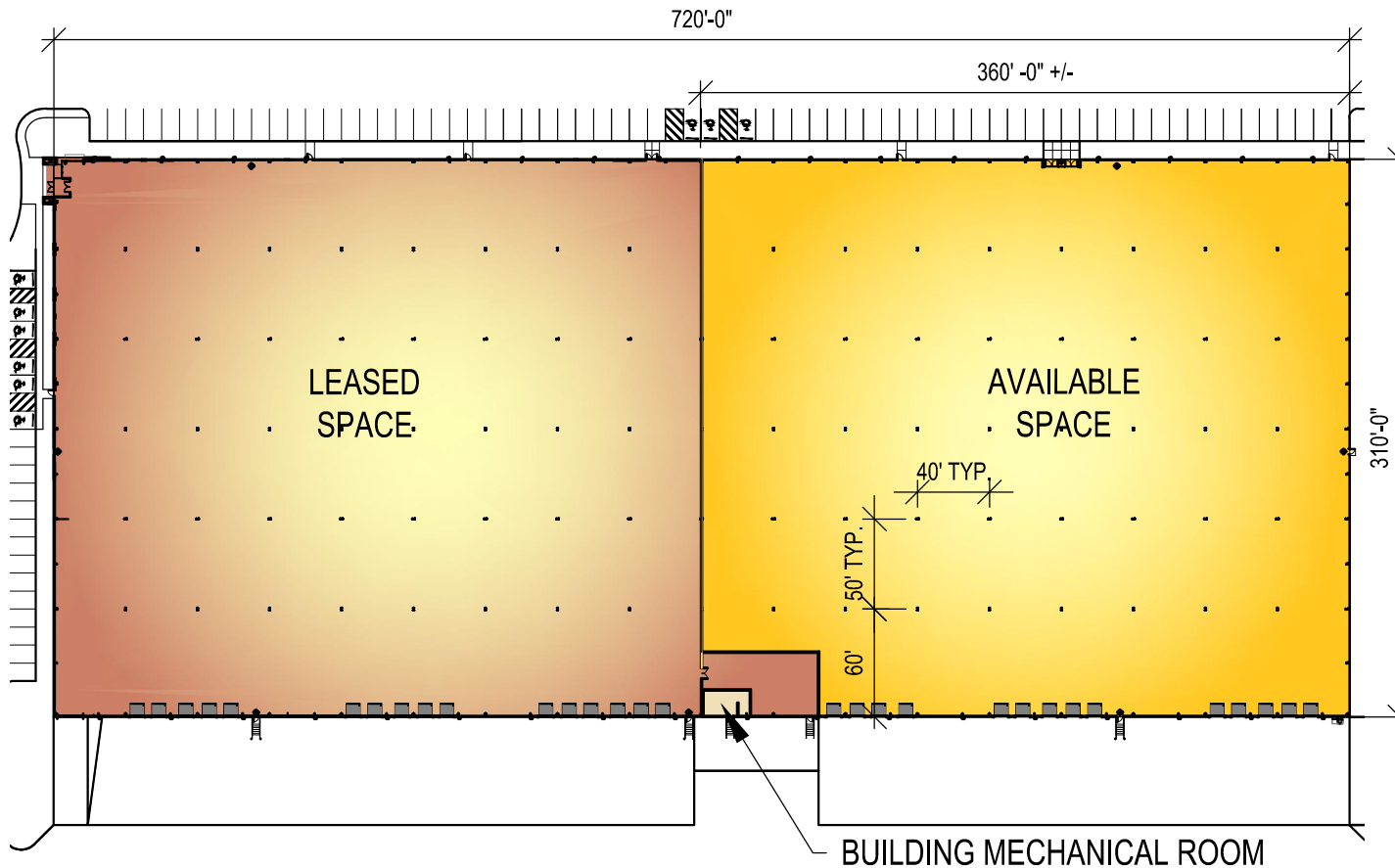
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## BUILDING PLAN

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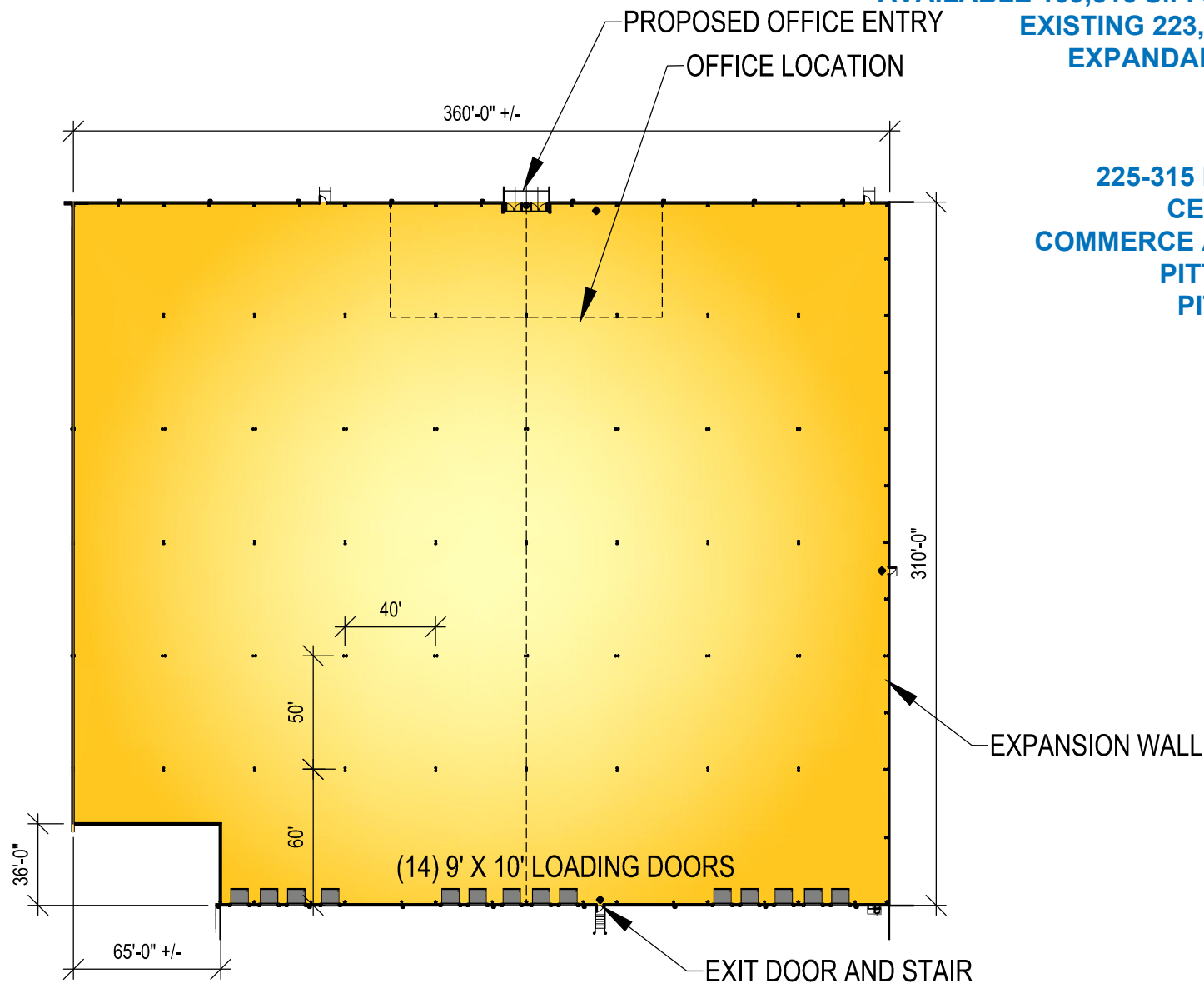
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## FLOOR PLAN

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## SPECIFICATIONS

### SITE IMPROVEMENTS

- \* ON-SITE PARKING FOR APPROXIMATELY 92 VEHICLES AND 149 FUTURE SPACES.
- \* FUTURE TRAILER STORAGE FOR APPROXIMATELY 83 TRAILERS.
- \* 8" THICK, 60' DEEP REINFORCED CONCRETE APRON AT LOADING DOCK.
- \* ASPHALT PAVING INCLUDING HEAVY DUTY PAVE IN TRUCK AREAS.
- \* PROFESSIONALLY PREPARED LANDSCAPE DESIGN.

### BUILDING IMPROVEMENTS

- \* BUILDING SHALL CONTAIN 223,200 SQUARE FEET, EXPANDABLE TO 310,000 S.F..
- \* BUILDING DIMENSIONS SHALL BE 720' (LENGTH) X 310' (DEPTH).
- \* AVAILABLE SPACE CONTAINS 109,516 S.F.
- \* MIN. 32' CLEAR STRUCTURAL HEIGHT AT LOW EAVES.
- \* MIN. 36'-10" CLEAR STRUCTURAL HEIGHT AT RIDGE.
- \* 40' X 50' BAY SPACING WITH A 60' DEEP STAGING BAY AT THE LOADING DOCK.
- \* 6" THICK REINFORCED CONCRETE FLOOR SLAB.
- \* MR24 STANDING SEAM ROOF SYSTEM.
- \* EXTERIOR WALL SYSTEM SHALL CONSIST OF ARCHITECTURAL MASONRY, ALUMINUM/GLAZING ENTRANCE SYSTEMS AND INSULATED METAL WALL PANELS.
- \* THE AVAILABLE SPACE CONTAINS (14) 9'-0" X 10'-0" VERTICAL LIFT, INSULATED STEEL DOCK DOORS WITH 30,000 LB CAPACITY MECHANICAL LEVELERS WITH BUMPERS.
- \* THE BUILDING INCLUDES 6' W X 3' H CLERESTORY WINDOWS.

### UTILITIES AND BUILDING SYSTEMS

- \* WAREHOUSE HEATING SYSTEM SHALL BE ENERGY EFFICIENT DIRECT FIRED INDUSTRIAL SPACE HEATERS.
- \* ELECTRICAL SERVICE SHALL BE A 800 AMP, 277/480 V, 3 PHASE EXPANDABLE TO 4000AMP.
- \* INTERIOR WAREHOUSE LIGHTING SHALL BE ENERGY EFFICIENT FLUORESCENT T-BAY FIXTURES WITH LIGHTING LEVELS OF 18 -22 FC AVERAGE.
- \* FIRE PROTECTION SYSTEM SHALL BE AN EARLY SUPPRESSION FAST RESPONSE (ESFR) SPRINKLER SYSTEM.
- \* PROVISIONS FOR DOMESTIC WATER AND NATURAL GAS SHALL BE PROVIDED.
- \* ALL UTILITIES SHALL BE SEPARATELY METERED.

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