

5,000 SF TO 24,000 SF

BUILD-TO-SUIT AVAILABLE FOR LEASE ON 4.34 ACRES

1050 HANOVER STREET
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



GREAT INDUSTRIAL SPACE ON THE I-81 CORRIDOR!



DIRECTIONS TO HANOVER STREET:

TRAVELING NORTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed 1.25 miles to 1070 Hanover Street on the left.

TRAVELING SOUTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed 1.25 miles to 1070 Hanover Street on the left.

PLANS AND SPECIFICATIONS

BUILDING IMPROVEMENTS

- Building proposed for 16,000 SF building, expandable to 24,000 SF
- Building dimensions 160' (length) x 100' (width).
- 30' clear structural height at low eave.
- 6" thick concrete floor slab reinforced with welded steel mats.
- Building roof shall be precision rolled form MR-24 metal panel.
- Exterior wall system constructed with architectural CMU and metal panels.
- Three (3) 9'-0" x 10'-0" loading doors with mechanical levelers.
- One (1) 12'-0" x 14'-0" drive in door.

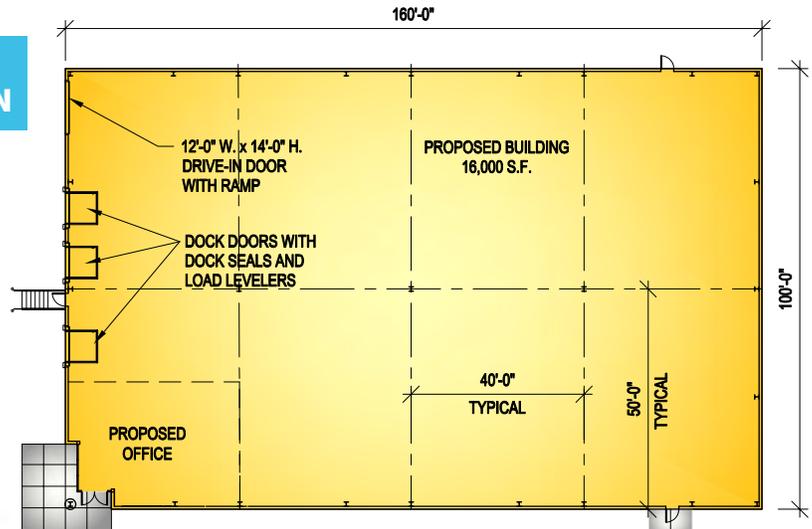
SITE IMPROVEMENTS

- Site contains approximately 4.34 acres.
- On-site parking for approximately 32 vehicles.
- Professionally prepared landscape design.

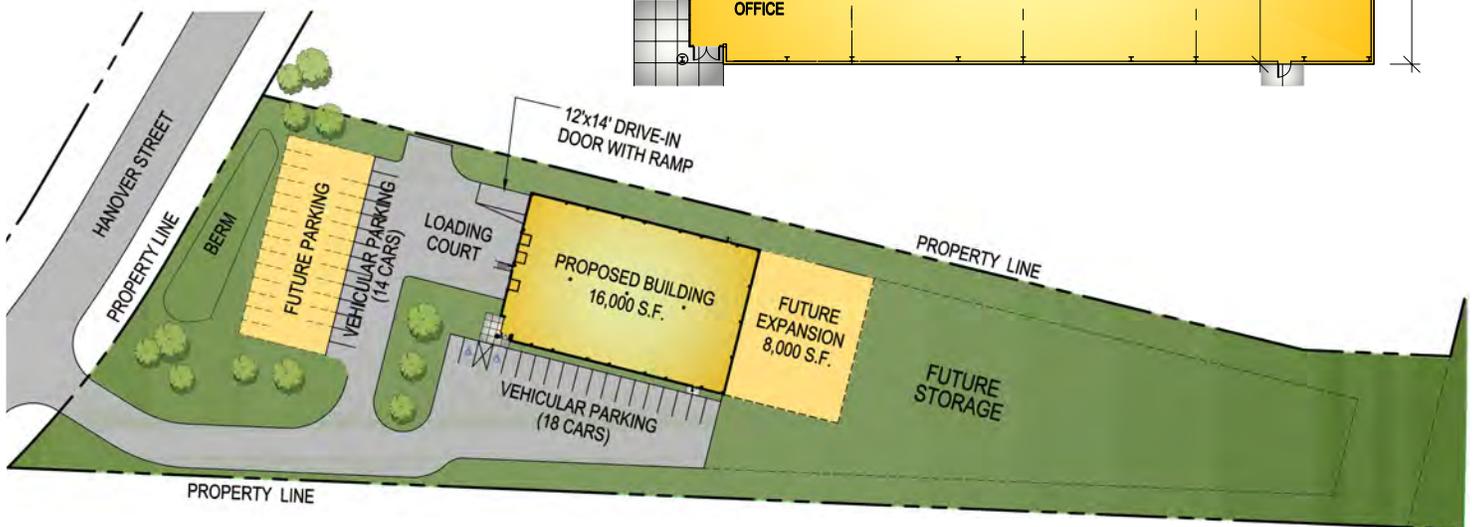
UTILITIES AND BUILDING SYSTEMS

- Heating system shall be gas-fired unit heaters.
- Electrical service shall be a 277/480v, 3-phase, 400A.
- Interior lighting shall be energy-efficient fluorescent t-bay fixtures with lighting levels of 18 -22 FC average.
- Fire protection system shall be an early suppression fast response (ESFR) wet sprinkler system.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

SAMPLE FLOOR PLAN



SAMPLE SITE PLAN



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.



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EAST MOUNTAIN CORPORATE CENTER
100 BALTIMORE DRIVE
WILKES-BARRE, PA 18702

DEVELOPMENT DIVISION

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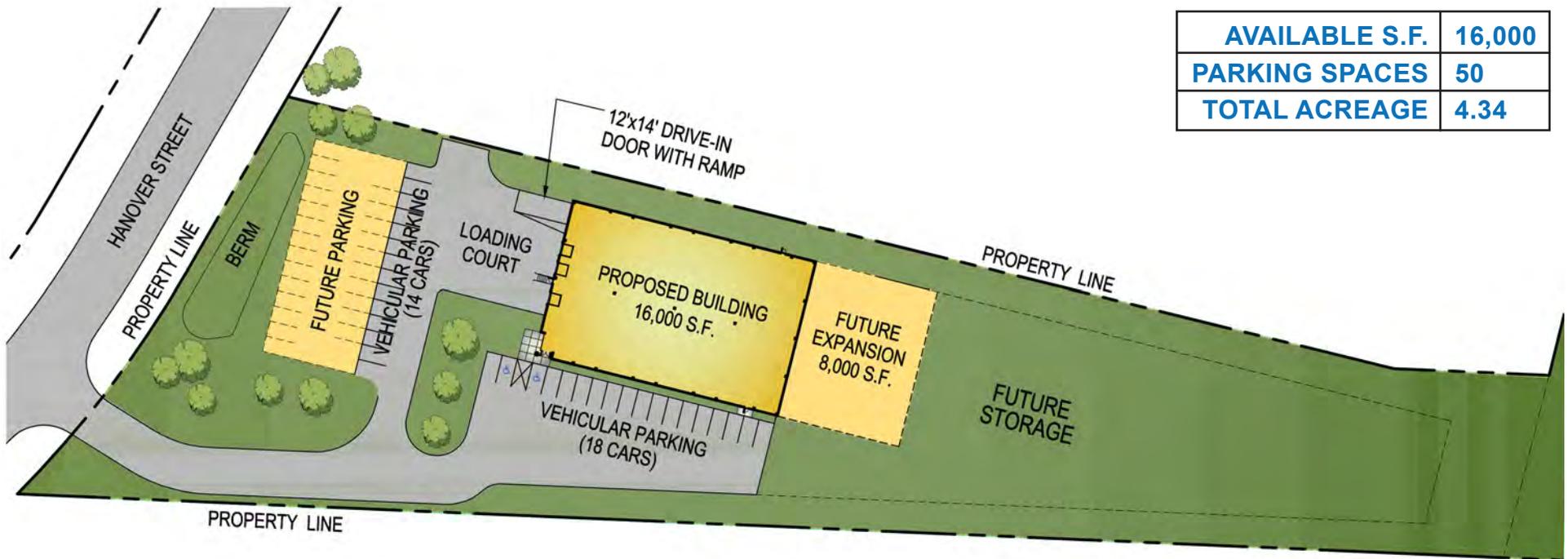


CONCEPTUAL SITE PLAN

**PROPOSED 16,000 SF BUILDING
EXPANDABLE TO 24,000 SF**

**1050 HANOVER STREET
PARCEL # 3B
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP
WILKES-BARRE, PA 18706**

AVAILABLE S.F.	16,000
PARKING SPACES	50
TOTAL ACREAGE	4.34



These plans have been prepared solely for marketing purposes for the exclusive use of
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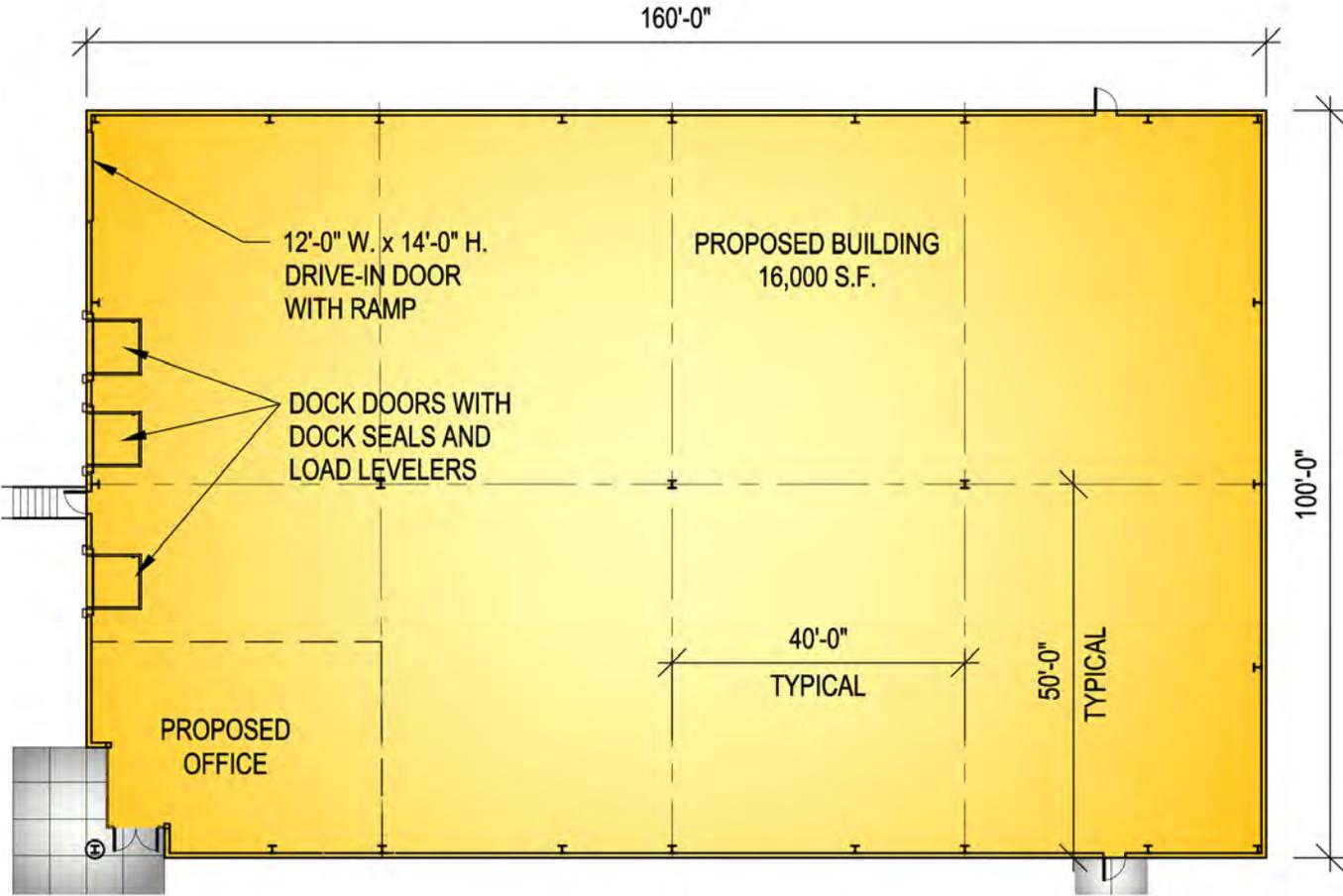
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

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