

1,023,000 SF

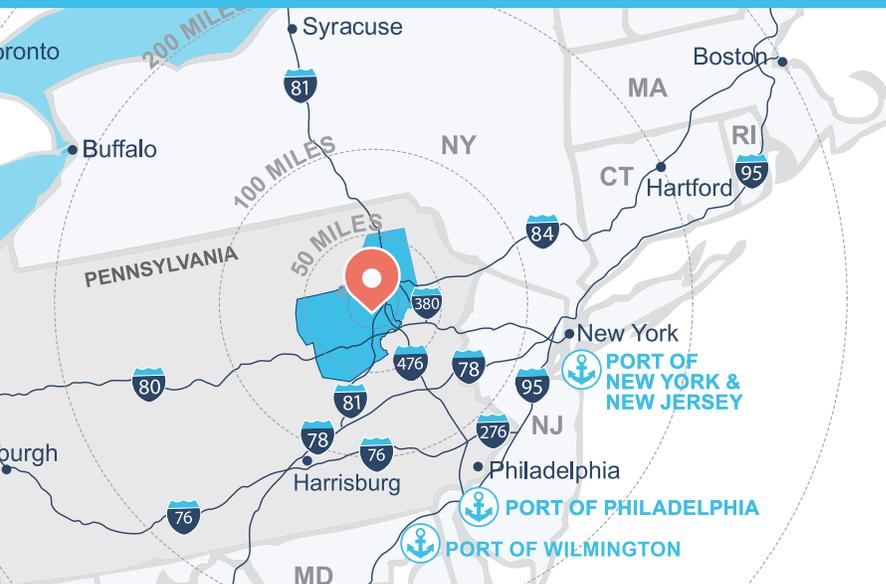
ON 135.72 ACRES AVAILABLE FOR LEASE

200 TECHNOLOGY DRIVE
CENTERPOINT COMMERCE & TRADE PARK EAST
JENKINS TOWNSHIP, PA



TAX-ABATED SITE NEAR I-81, I-476

LERTA APPROVED! 10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



CENTERPOINT FEATURES

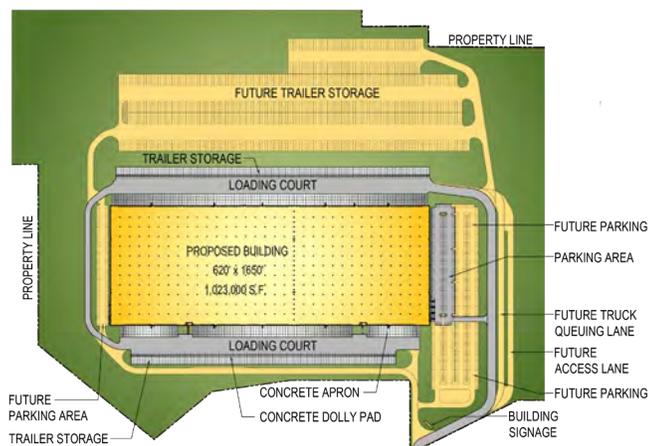
- ✓ Less than one mile from I-81 and I-476
- ✓ Immediate proximity to FedEx Ground, FedEx Express, FedEx Smart Post, and UPS
- ✓ More than 700,000 people live within 30 miles
- ✓ Two hours from New York City and Philadelphia
- ✓ More than 51 million people live within 200 miles
- ✓ Public water, sewer, natural gas, fiber, and power
- ✓ 10-year, 100% real estate tax abatement on improvements (LERTA)
- ✓ Park is home to bulk industrial facilities for Lowe's, The Home Depot, Tailored Brands, Neiman Marcus, Kimberly Clark, Bimbo Bakeries and others



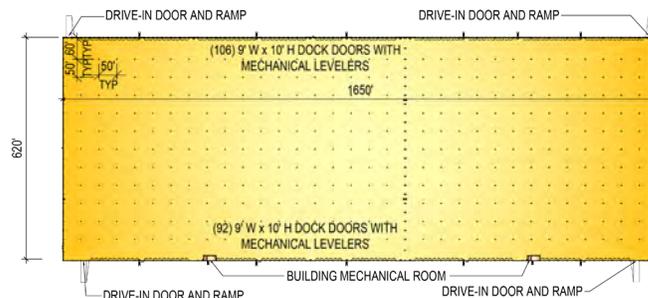
Mericle, a Butler Builder®, is proud to be part of a network of building professionals dedicated to providing you the best construction for your needs.

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SITE PLAN



FLOOR PLAN



SIZE

- **Available Space:** 1,023,000 SF
- **Acreage:** 135.72 acres
- **Building Dimensions:** 1650' (length) x 620' (depth)

BUILDING CONSTRUCTION

- **Warehouse Floor:** 7" thick, 4,000 psi, reinforced concrete with a cumulative floor level and flatness exceeding Ff 35, Fl 25. The entire floor will be treated using a water-based, low VOC, acrylic copolymer solution as manufactured by L&M Construction Chemicals, to cure, seal and dustproof the concrete.
- **Office Floor:** Main office areas will be installed over a Class 1, 10 mil. vapor retarder to accommodate moisture sensitive, high end floor covering and coating systems.
- **Roof:** Butler's MR-24 roof system which is the industry's first and finest standing seam metal roof system and boost the longest life span of any roof on the market with the fewest possible penetrations.
- **Exterior Walls:** Combination of reinforced common, ground and/or split-face concrete block and Butler Manufacturing's Shadowwall Wall System.
- **Main Entrance:** Professionally designed, utilizing precast concrete, split-face concrete block, and a custom curtain wall window system with sun shade outriggers and energy efficient, low-e glazing, heat strengthened spandrel glass and thermally broken anodized aluminum frame.
- **Ceiling Height:** The roof slope shall be 1/4" per foot with a maximum ridge height of 45' and an approx. clear eave height of 36'.

LOCATION

- Less than one mile from I-81 and I-476
- More than 470,000 live within 20 miles of the park

LOADING

- **Dock Equipment:** One hundred ninety-eight (198) 9' x 10' insulated steel dock doors shall be provided with Rite-Hite dock equipment including, 7" wide, 35,000 lb. mechanical levelers with 6" bumpers.
- Infrastructure shall be in place to accommodate upgrades including hydraulic levelers, dock locks, rain guard dock seal shelters, and pit master leveler seals.
- Four (4) 12' x 14' high vertical-lift insulated steel drive-in doors shall be provided.
- Clerestory windows shall be provided along both loading docks.

UTILITIES

- **HVAC:** High-efficiency, gas-fired Cambridge unit heaters.
- **Electrical Service:** Provisions are in place for up to four (4) 4000 amp or eight (8) 800 amp, 277/480 volt, 3-phase, 4-wire electrical services.
- **Lighting:** LED fixtures mounted on the roof purlins for an average of 18-22 foot candles, based on an open floor plan.
- **Fire Protection:** Early Suppression Fast Response (ESFR) system.
- **Utilities:** All utilities shall be separately metered.
- Domestic water is provided through (2) 4" copper water mains.
- Provisions for natural gas shall be provided.

PARKING

- On-site vehicular parking of approx. 225 spaces with expansion capabilities for approx. 608 additional spaces.
- Room to park approx. 950 trailers on-site.
- Asphalt paving, including heavy duty pave in truck areas.

Northeastern Pennsylvania is the center of the Boston/Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380 and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.



CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR

DEEP WATER PORTS

| PORT | MI | KM |
|---------------------|-----|-----|
| Philadelphia | 120 | 193 |
| New York/New Jersey | 121 | 195 |
| Wilmington | 132 | 212 |
| Baltimore | 191 | 307 |

TRAVEL DISTANCES

| CITY | MI | KM |
|------------------------|-----|-----|
| Delaware Water Gap, PA | 57 | 92 |
| Allentown, PA | 67 | 108 |
| Morristown, NJ | 96 | 155 |
| Philadelphia, PA | 113 | 182 |
| Harrisburg, PA | 116 | 187 |
| Port Newark, NJ | 126 | 203 |
| New York, NY | 128 | 206 |
| Syracuse, NY | 152 | 245 |
| Baltimore, MD | 194 | 312 |
| Hartford, CT | 198 | 319 |
| Washington, DC | 237 | 381 |
| Pittsburgh, PA | 290 | 467 |
| Boston, MA | 301 | 484 |



10-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS

EMPLOYMENT & UNEMPLOYMENT DATA

FOR LACKAWANNA & LUZERNE COUNTIES **MORE THAN 470,000 PEOPLE LIVE WITHIN 20 MILES OF CENTERPOINT**

| YEAR | NEPA REGION CIVILIAN LABOR FORCE | EMPLOYED | UNEMPLOYED | NEPA | PA | US |
|------|----------------------------------|----------|------------|------|------|------|
| 2018 | 264,800 | 250,300 | 14,600 | 5.4% | 4.8% | 4.1% |
| 2017 | 263,600 | 248,700 | 14,900 | 5.6% | 4.9% | 4.4% |
| 2016 | 267,200 | 251,400 | 15,800 | 5.9% | 4.7% | 5.0% |

Source: www.paworkstats.state.pa.us



LOCAL ECONOMIC REVITALIZATION TAX ASSISTANCE PROGRAM (LERTA)

Companies that move into CenterPoint have the opportunity to dramatically lower their operating costs due to a long established tax abatement program. Every building constructed in Mericle's CenterPoint Commerce & Trade Park receives a 10-year, 100% real estate tax abatement on improvements via the Local Economic Revitalization Tax Assistance (LERTA) program. This abatement program was approved by Luzerne County, the Pittston Area School district, Jenkins Township, and Pittston Township.

The annual real estate taxes you will save when you move into a LERTA-approved building in CenterPoint may vary depending upon the cost of construction required to meet your exact specifications. **Contact Bob Besecker, Jim Hilsher, or Bill Jones of Mericle's Leasing Team for a detailed savings estimate.**



200 TECHNOLOGY DRIVE

CENTERPOINT COMMERCE
& TRADE PARK EAST
JENKINS TOWNSHIP, PA

DEVELOPMENT DIVISION

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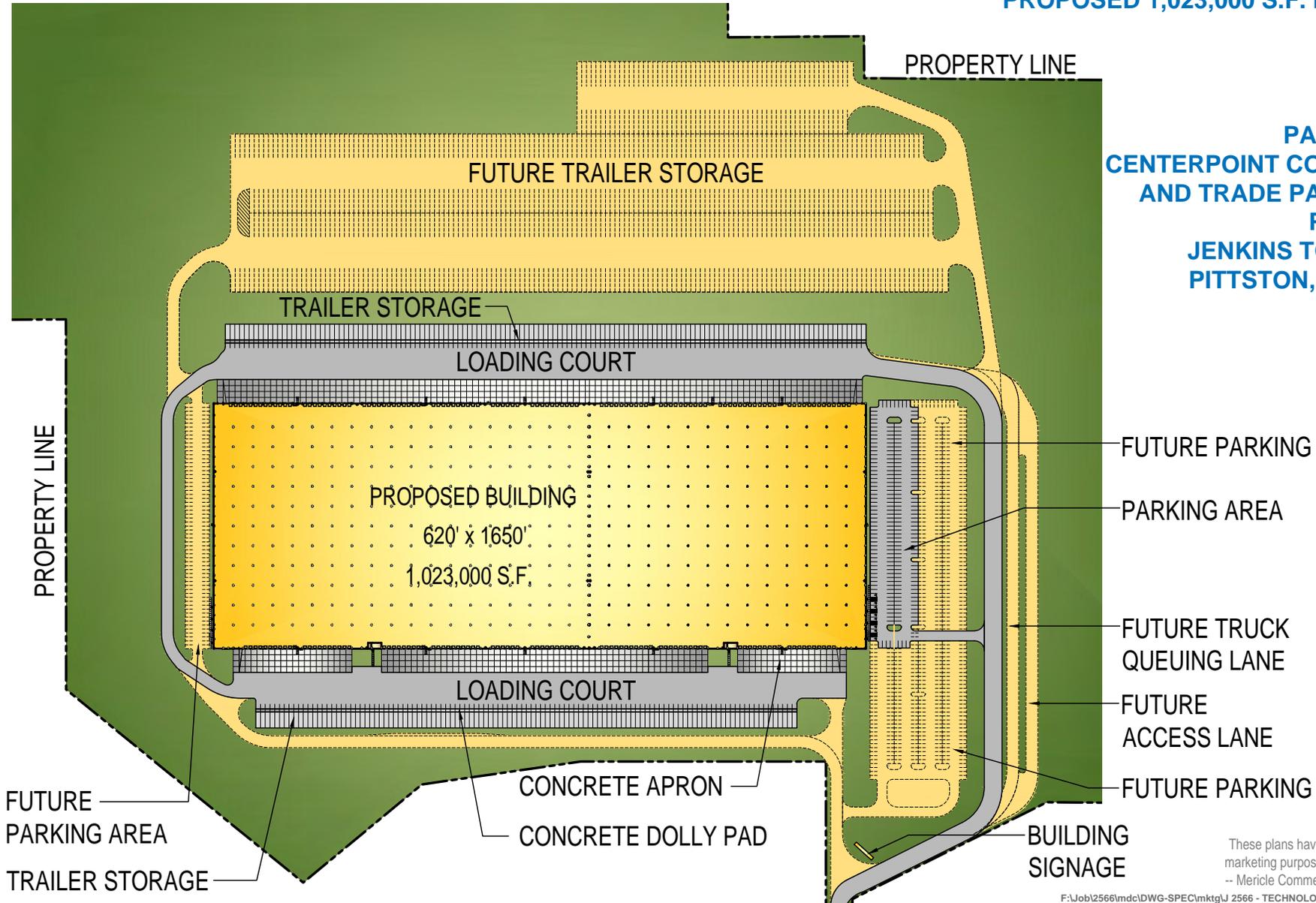
BILL JONES, VP
bjones@mericle.com

To learn more, please call one of us at [570.823.1100](tel:570.823.1100) to request a proposal and/or arrange a tour.

CONCEPTUAL SITE PLAN

PROPOSED 1,023,000 S.F. BUILDING

**PARCEL #26
CENTERPOINT COMMERCE
AND TRADE PARK-EAST
PHASE IIA
JENKINS TOWNSHIP
PITTSTON, PA 18640**



These plans have been prepared solely for marketing purposes for the exclusive use of -- Mericle Commercial Real Estate Services

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East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

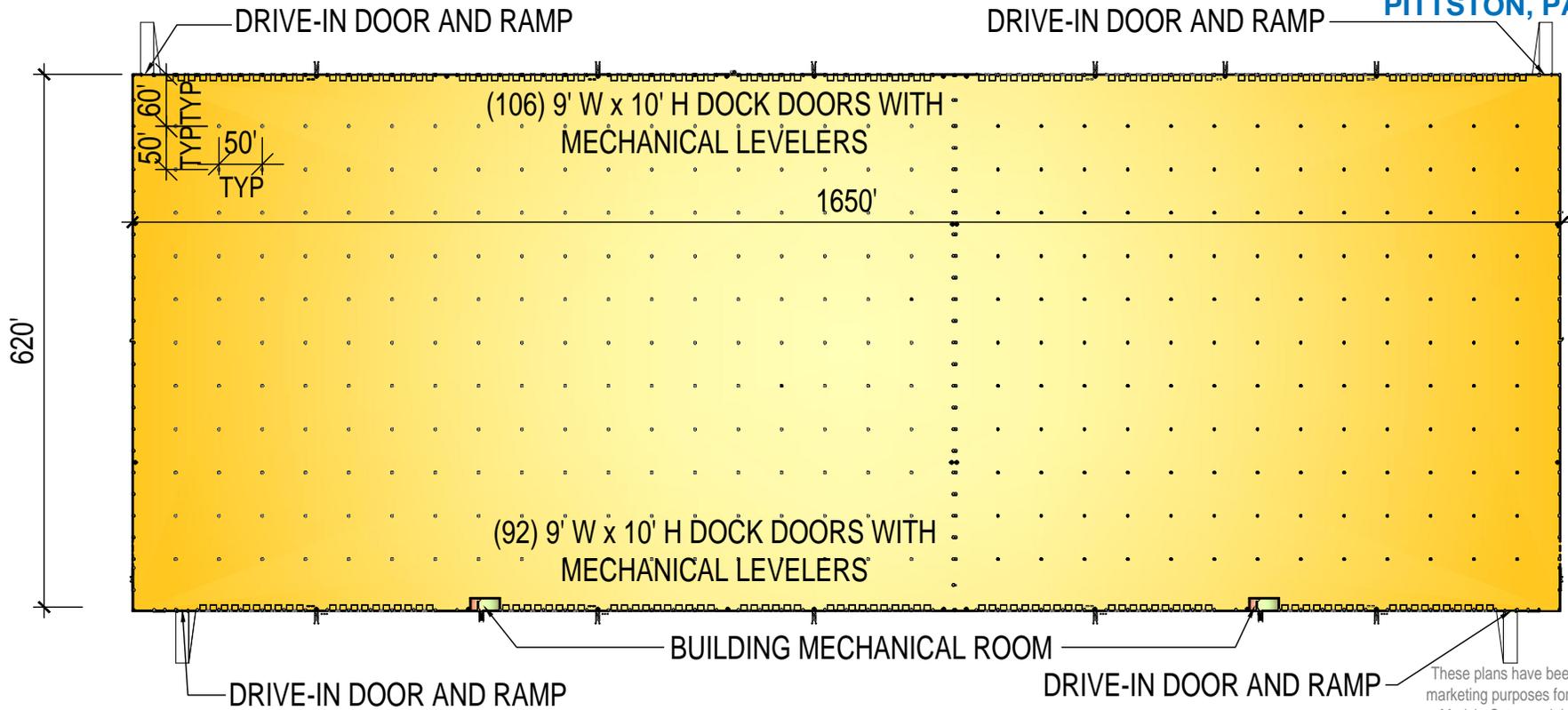
Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

CONCEPTUAL BUILDING PLAN

PROPOSED 1,023,000 S.F. BUILDING



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PHASE IIA
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PITTSSTON, PA 18640



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East Mountain Corporate Center
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Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

PROPOSED 1,023,000 S.F. BUILDING

**PARCEL #26
CENTERPOINT COMMERCE
AND TRADE PARK-EAST
PHASE IIA
JENKINS TOWNSHIP
PITTSTON, PA 18640**

SITE IMPROVEMENTS

- The building shall be constructed on approximately 135.72 acres in one of the newest and fastest growing industrial parks in Northeast PA with beautiful views of the Wyoming Valley and easy access to Interstate 81 and the Pennsylvania Turnpike Northeast Extension.
- On-site vehicular parking shall consist of approximately 225 spaces with expansion capabilities for approximately 608 additional spaces.
- Paving shall be 6" compacted aggregate sub-base and a 2.5" bituminous concrete base course with a 1.5" bituminous ID-2 wearing top course. The truck traffic areas shall be designed for today's heavy duty truck traffic consisting of a 3.5" bituminous concrete base course.
- (249) 60' long x 12' wide trailer storage spaces shall be provided with an 8" thick, 8'-0" wide concrete dolly pad. Additional trailers can be stored along the building on an 8" thick reinforced concrete apron which extends 60' out from to the building to accommodate today's larger over the road trailers. The entire truck loading court as well as the trailer storage area shall be lit to approximately 1 foot candle for added security. The future trailer storage contains approximately 700 additional trailer storage spaces.
- A beautifully landscaped, internally lit, building marquee sign shall be constructed at the main entrance to the site and ready for tenant logo and graphics.

BUILDING IMPROVEMENTS

- The building shall be designed and constructed utilizing Butler Manufacturing's Landmark 2000 structural system consisting of solid-web primary frames, factory-punched truss purlin secondary structural members and rod bracing to form a long-bay framing system capable of spanning 60 feet.
- The roof shall consist of Butler's MR-24 roof system which is the industry's first and finest standing seam metal roof system and boasts the longest life span of any roof on the market with the fewest possible penetrations. The roof is fastened to the structure using a Butler maintained and calibrated mechanical seaming tool to bend the metal to form an exclusive 360-degree Pittsburgh double-lock seam and connect to the structure without ever penetrating the roof. The roof slope shall be $\frac{1}{4}$ " per foot with a maximum ridge height of 45' and an approximate clear eave height of 36'.
- The floors shall consist of 7" thick, 4,000 psi, reinforced concrete with a cumulative floor level and flatness exceeding Ff 35, Fl 25. The entire floor will be treated using SpecHard silicone sealer / densifier and E-cure concrete curing compound. The floor at the Proposed Main Office Areas shall be installed over a Class 1, 10 mil. vapor retarder to accommodate moisture sensitive, high end floor coverings and coating systems.
- The exterior walls shall consist of a combination of reinforced common, ground and/or split-face concrete block and Butler Manufacturing's Shadowall Wall System. The Butler Shadowall System utilizes factory punched panels with recessed fasteners and finished with Butler-Cote fluoropolymer coating for years of maintenance free, attractive and uniform appearance.
- The main entrance is professionally designed with a high end, modern corporate headquarters look utilizing precast concrete, split-face concrete block, and a custom curtain wall window system with sun shade outriggers and energy efficient, low-e glazing, heat strengthened spandrel glass and thermally broken anodized aluminum frames.
- The building shall be well insulated to meet today's stringent building envelope energy code requirements.
- (198) 9' x 10' insulated steel loading dock doors shall be provided with the industry's best selling, most reliable Rite-Hite dock equipment including, 7' wide, 40,000 lb. Rite-Hite RHM-4000 mechanical levelers and with 6" bumpers provided at every door. Infrastructure shall be in place to accommodate upgrades including hydraulic levelers, dock locks, rain guard dock seal shelters and pit master leveler seals.
- (4) 12' x 14 high vertical lift insulated steel drive-in doors shall be provided.
- Clerestory windows shall be provided along both loading docks and end walls.

UTILITIES AND BUILDING SYSTEMS

- The Warehouse Area shall be heated with high-efficiency, gas-fired Cambridge unit heaters.
- The Warehouse lighting shall consist of LED fixtures mounted on the roof purlins for an average of 18-22 foot candles, based on an open floor plan.
- The entire building shall be protected with an Early Suppression Fast Response (ESFR) system which provides excellent protection for high piled storage occupancies. ESFR systems provide larger volumes of water delivering larger water droplets at higher velocities than standard response sprinkler systems.
- Domestic water is provided through (2) 4" copper water mains.
- The electrical service shall consist of a 4,000 amp, 277/480v, 3 phase, 4 wire service.

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