

8,121 SF

ON 8.55 ACRES AVAILABLE FOR LEASE

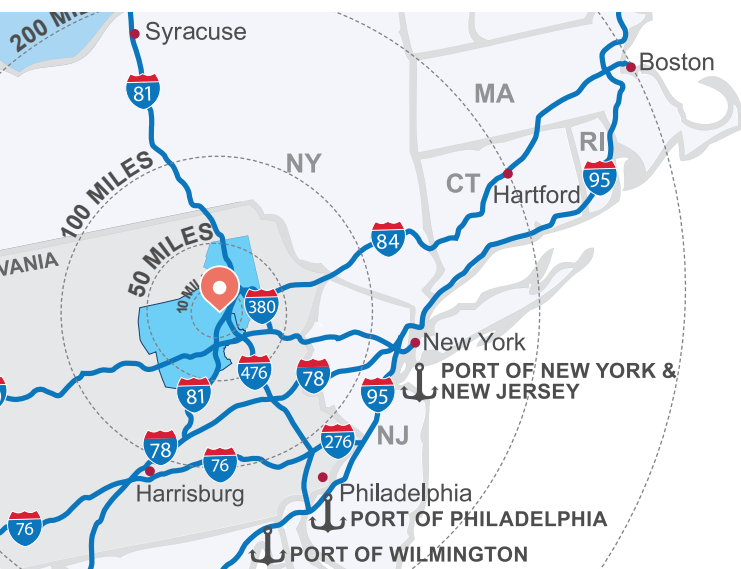
161 CENTERPOINT BLVD.

CENTERPOINT COMMERCE & TRADE PARK EAST
JENKINS TOWNSHIP, PA



MODERN FLEX SPACE NEAR I-81, I-476

LERTA APPROVED! MULTI-YEAR, 100% REAL ESTATE TAX ABATEMENT ON IMPROVEMENTS!



DIRECTIONS TO CENTERPOINT EAST:

- **Traveling North on I-81** - Take Exit 175 (Pittston/Route 315 North). Once off exit ramp, make first right just before the light at the car dealership. Follow road under I-476 overpass. Proceed straight into park.
- **Traveling South on I-81** - Take Exit 175A (Pittston/Route 315 South). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.
- **Traveling on I-476 (PA Turnpike)** - Take Exit 115 (Wyoming Valley). Follow Rt. 315 south 1/2 mile to first light. Turn left and follow road under I-476 overpass. Proceed straight into park.

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PLANS AND SPECIFICATIONS

SIZE

- **Available Space:** 8,121 SF
- **Acreage:** 8.55 acres
- **Building Size:** 84,121 SF
- **Building Dimensions:** 560' (length) x 150' (depth)

BUILDING CONSTRUCTION

- **Floor:** 6" thick concrete floor slab reinforced with welded steel mats
- **Roof:** MR24 standing seam roof system with insulation
- **Exterior Walls:** Architectural masonry, aluminum glazing entrance system, and insulated metal wall panels
- **Clear Ceiling Height:** 30'-6" to 33'-6"
- **Column Spacing:** 40' x 50' bay spacing

LOADING

- **Loading:** Rear dock
- **Dock Equipment:** One (1) 8'-6" X 9'-6" vertical lift, insulated steel dock door with 30,000 lb. capacity mechanical leveler with bumpers

UTILITIES

- **HVAC:** Energy-efficient modine gas-fired unit heaters
- **Electrical Service:** 120/208 V, 225 amp, 3-phase (expandable to 400 amp)
- **Lighting:** Energy-efficient fluorescent T-bay fixtures with lighting levels of 18-22 FC average
- **Fire Protection:** Ordinary Hazard Class III wet sprinkler system
- **Utilities:** Separately Metered, Public Water, Sewer, Gas, and Electric

PARKING

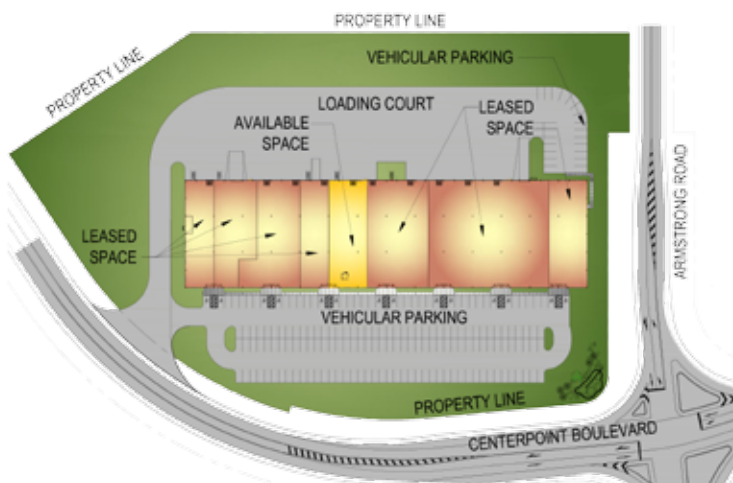
- **Vehicular Parking:** On-site parking for approximately 19 vehicles

LOCATION

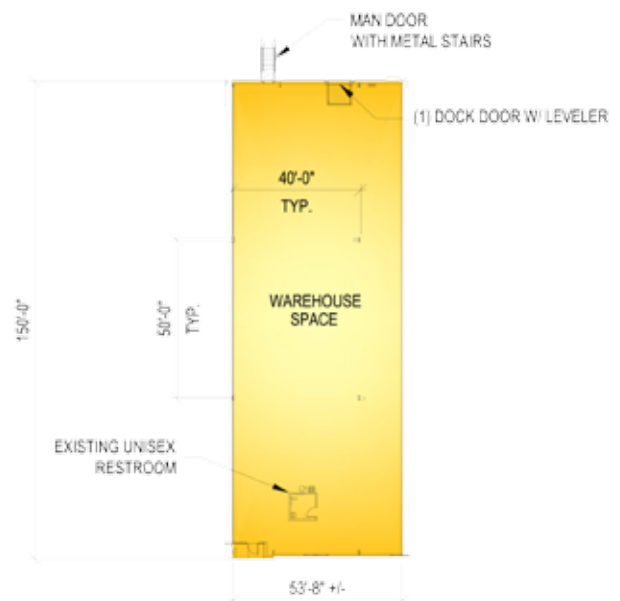
- Less than one mile from I-81 and 1-476
- More than 470,000 live within 20 miles of the park

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

SITE PLAN



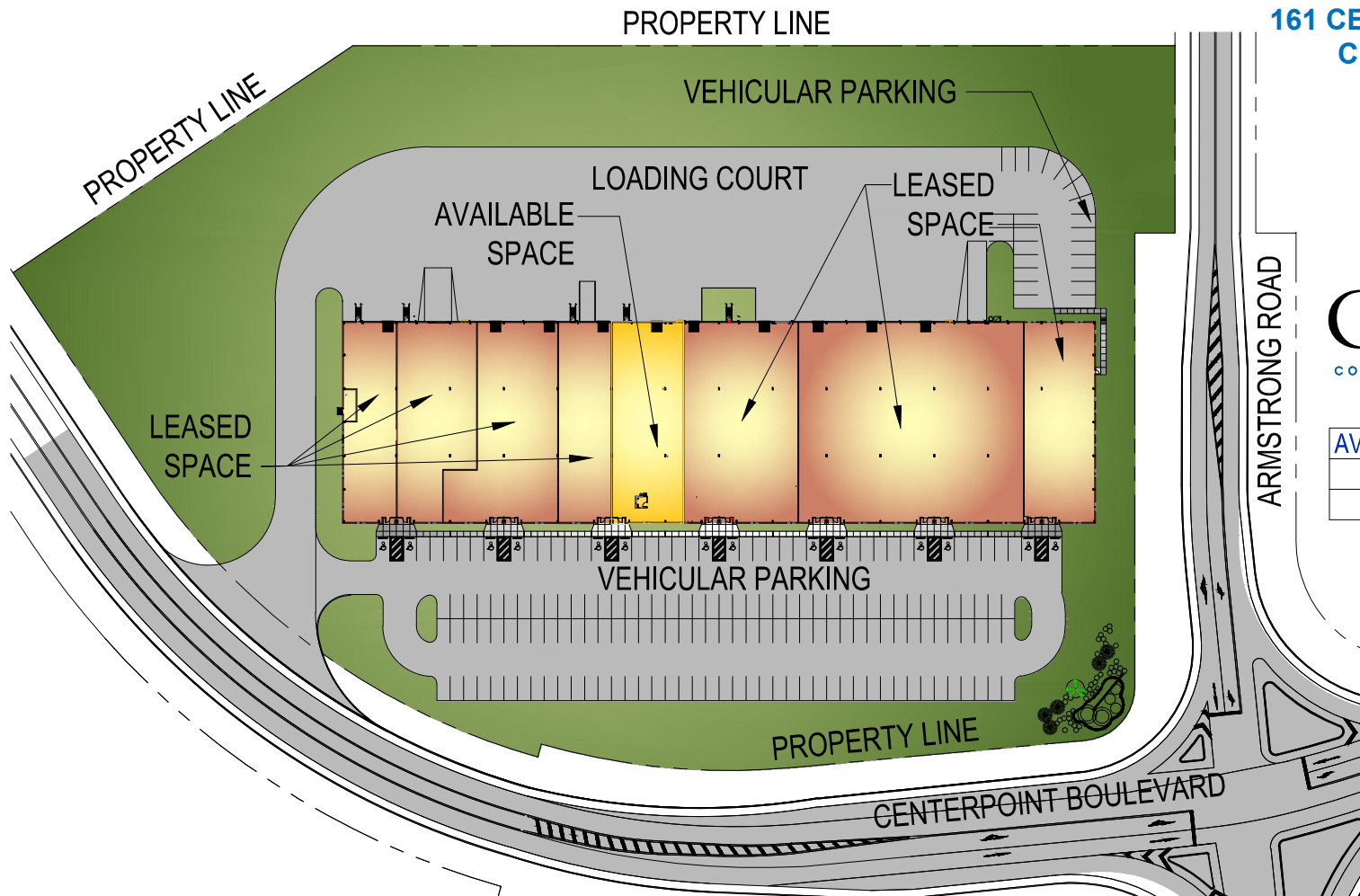
FLOOR PLAN



EXISTING SITE PLAN

AVAILABLE 8,121 S.F. SPACE WITHIN
AN EXISTING 84,121 S.F. BUILDING

PARCEL #2
161 CENTERPOINT BOULEVARD
CENTERPOINT COMMERCE
AND TRADE PARK-EAST
JENKINS TOWNSHIP
PITTSBURGH, PA 15204




CenterPoint
commerce & trade park • east

AVAILABLE PARKING SPACES	19
AVAILABLE DOCK DOORS	1
ACREAGE	8.55

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marketing purposes for the exclusive use of
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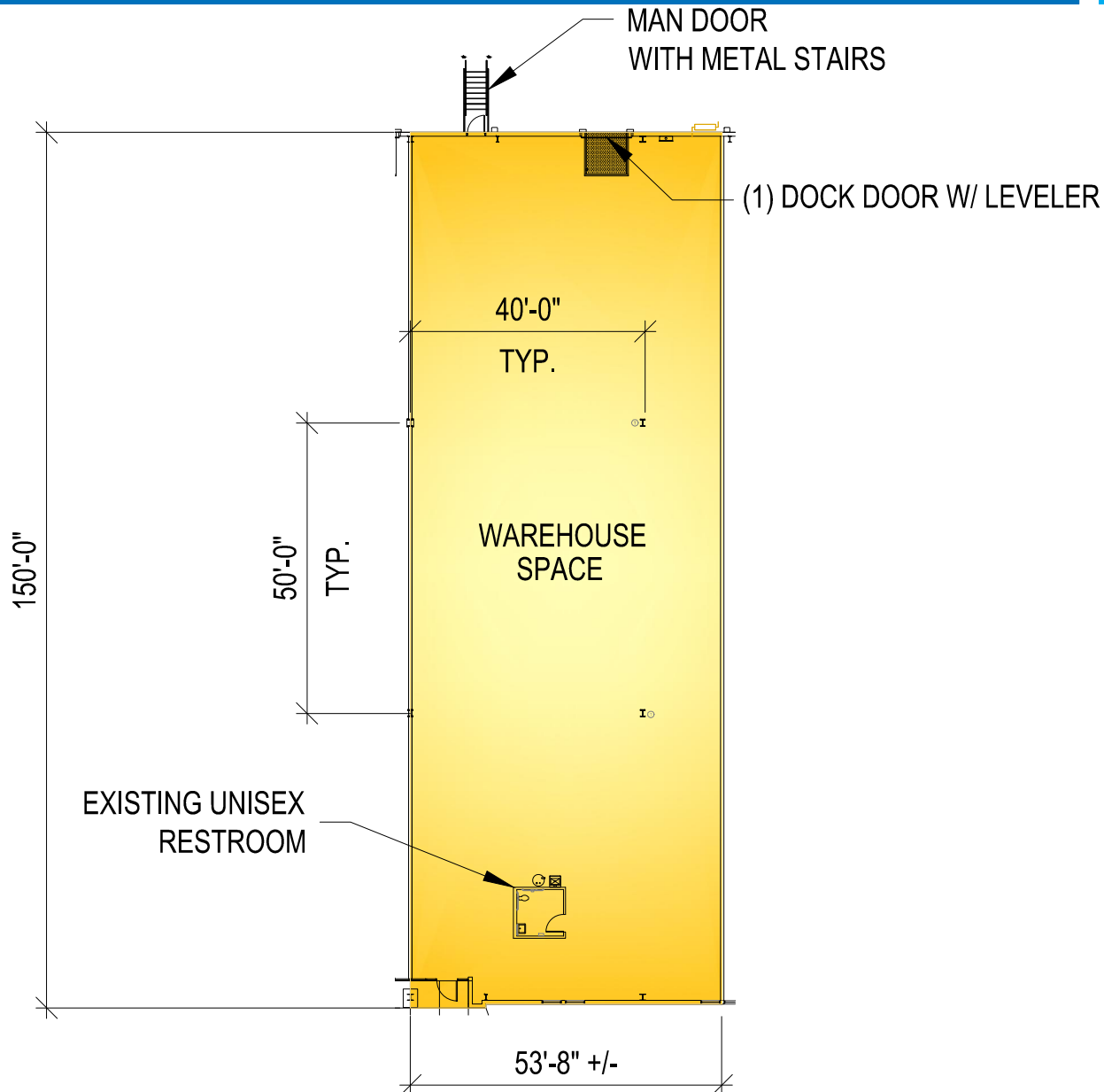
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

EXISTING FLOOR PLAN

AVAILABLE 8,121 S.F. SPACE WITHIN
AN EXISTING 84,121 S.F. BUILDING

PARCEL #2
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CENTERPOINT COMMERCE
AND TRADE PARK-EAST
JENKINS TOWNSHIP
PITTSTON, PA 18640



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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 8.55 Acres.
- On-site parking for approximately (19) vehicles.
- Asphalt paving including heavy duty pave in truck areas.
- Professionally prepared landscape design.

BUILDING IMPROVEMENTS

- Building contains 84,121 square feet.
- Building dimensions 560' (length) X 150' (depth).
- Available space contains 8,121 square feet.
- 30'-6" clear structural height at low eave.
- 33'-6" clear structural height at high eave.
- 40' X 50' bay spacing.
- 6" thick concrete floor slab reinforced with welded steel mats.
- MR-24 standing seam roof system.
- Exterior wall system consisting of architectural masonry, aluminum glazing entrance system, and insulated metal wall panels.
- The available space contains one (1) 8'-6" X 9'-6" vertical lift, insulated steel dock door with 30,000 lb. capacity mechanical leveler with bumpers.
- The available space contains a unisex restroom, hot water heater and utility sink.

UTILITIES AND BUILDING SYSTEMS

- Heating in warehouse is energy efficient modine gas fired unit heaters.
- Electrical service is a 120/208 V, 3 phase 225 amp expandable to 400 amp.
- Warehouse lighting is energy efficient fluorescent T-bay fixtures with lighting levels of 18-22 FC average.
- Fire protection system is an Ordinary Hazard Class III wet sprinkler system.
- Provisions for domestic water and natural gas are provided.
- Utilities are separately metered.

**AVAILABLE 8,121 S.F. SPACE WITHIN
AN EXISTING 84,121 S.F. BUILDING**

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CENTERPOINT COMMERCE
AND TRADE PARK-EAST
JENKINS TOWNSHIP
PITTSBURGH, PA 15110**

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