

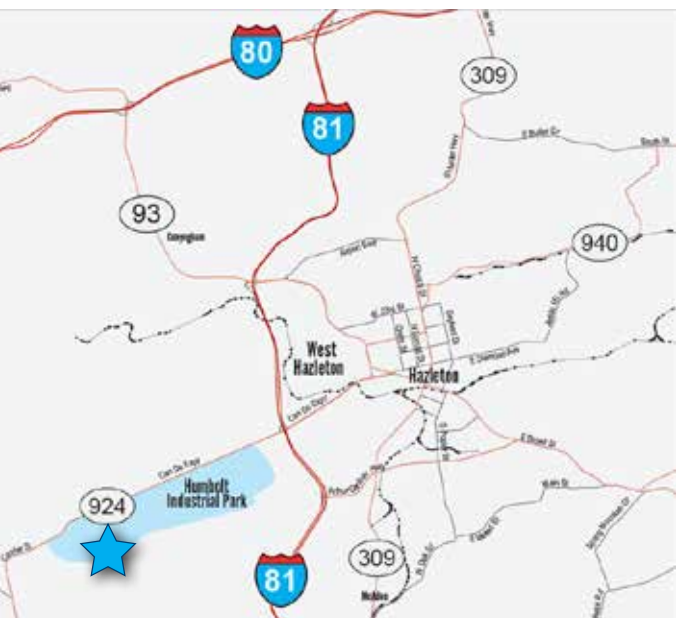
84,480 to 253,311 SF

ON 22.78 ACRES

585 OAK RIDGE ROAD
HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP, PA



GREAT ACCESS TO I-81 & I-80!



DIRECTIONS TO HUMBOLDT INDUSTRIAL PARK:

Traveling North on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn left. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

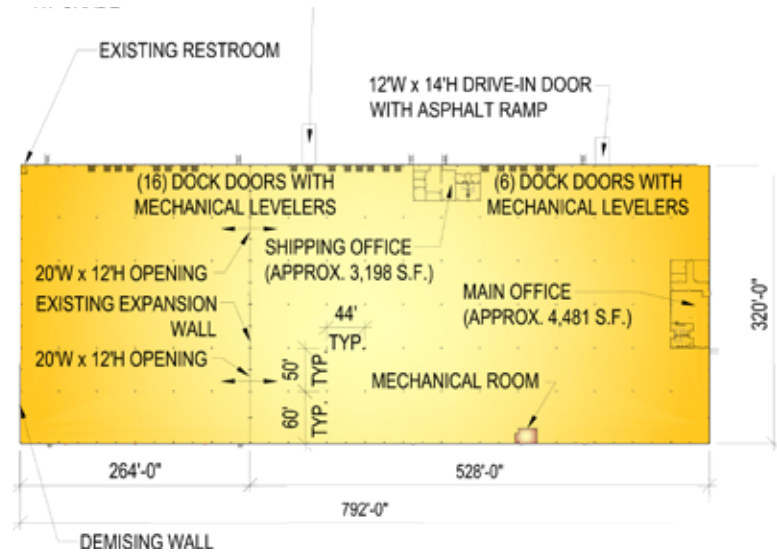
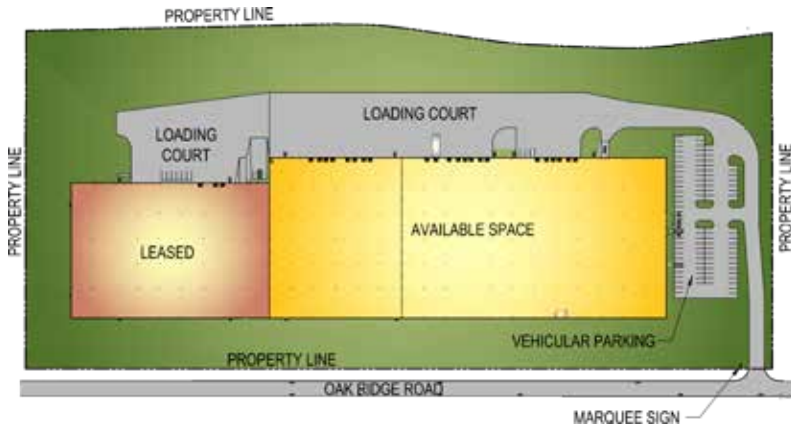
Traveling South on I-81 - Take Exit 143 for Rt. 924 toward Hazleton. At the end of the exit ramp, turn right. Drive approximately 1.2 miles. Humboldt Industrial Park will be on the left.

84,480 to 253,311 SF

ON 22.78 ACRES

585 OAK RIDGE ROAD

HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP, PA



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

PROPERTY SPECIFICATIONS

- Available space is 84,480 SF to 253,311 SF
- Building contains 360,360 SF on 22.78 acres
- Building dimensions (available space) is 792' x 320'
- 4,481 SF main office and a 3,198 SF shipping office
- Approximate 32' clear structural height at low eave. Approximate 36' clear structural height at ridge
- 50' x 44' typical bay spacing with 60' loading bays
- 6" thick reinforced concrete floor slab
- Twenty-two (22) 8'6" x 9'6" vertical lift dock doors with 30,000 lb. capacity mechanical levelers and bumpers
- One (1) 12' x 14' drive-in door with asphalt ramp
- Warehouse heating system is energy-efficient gas-fired unit heaters
- MR24 standing seam roof system
- Existing racking, air circulation fans, conveyors, etc. available
- Electrical service is 800 amp (expandable), 480/277V, 3-phase
- Interior lighting is Hi-Bay fixtures (will be upgraded to LED) in the warehouse and fluorescent fixtures in the office areas
- Fire protection is an ESFR wet sprinkler system with an Ordinary Hazard System in the office area
- On-site parking for approx. 102 vehicles



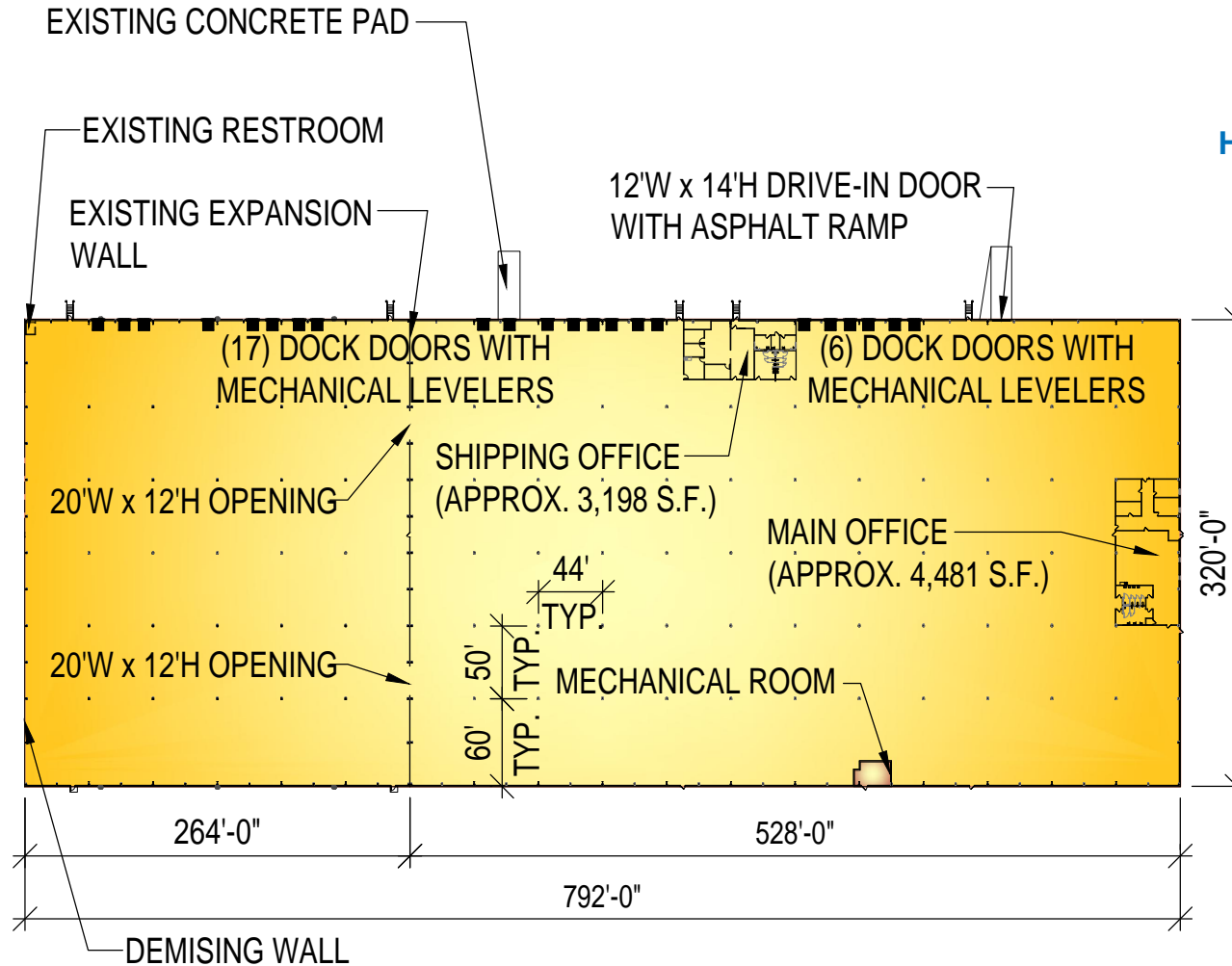
mericle.com

SERVING PENNSYLVANIA'S 1-81 CORRIDOR • 570.823.1100
EAST MOUNTAIN CORPORATE CENTER • 100 BALTIMORE DRIVE, WILKES-BARRE, PA 18702

BUILDING PLAN

AVAILABLE 253,311 S.F. SPACE
WITHIN AN EXISTING 360,360 S.F. BUILDING

PARCEL #52A
585 OAK RIDGE ROAD
HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP
HAZLETON, PA 18202



These plans have been prepared solely for marketing purposes for the exclusive use of -- Mericle Commercial Real Estate Services

F:\Job\2313\mcd\dwg-spec\Concepts\MKT - 585 OAK RIDGE ROAD (0100317).dwg CK

570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

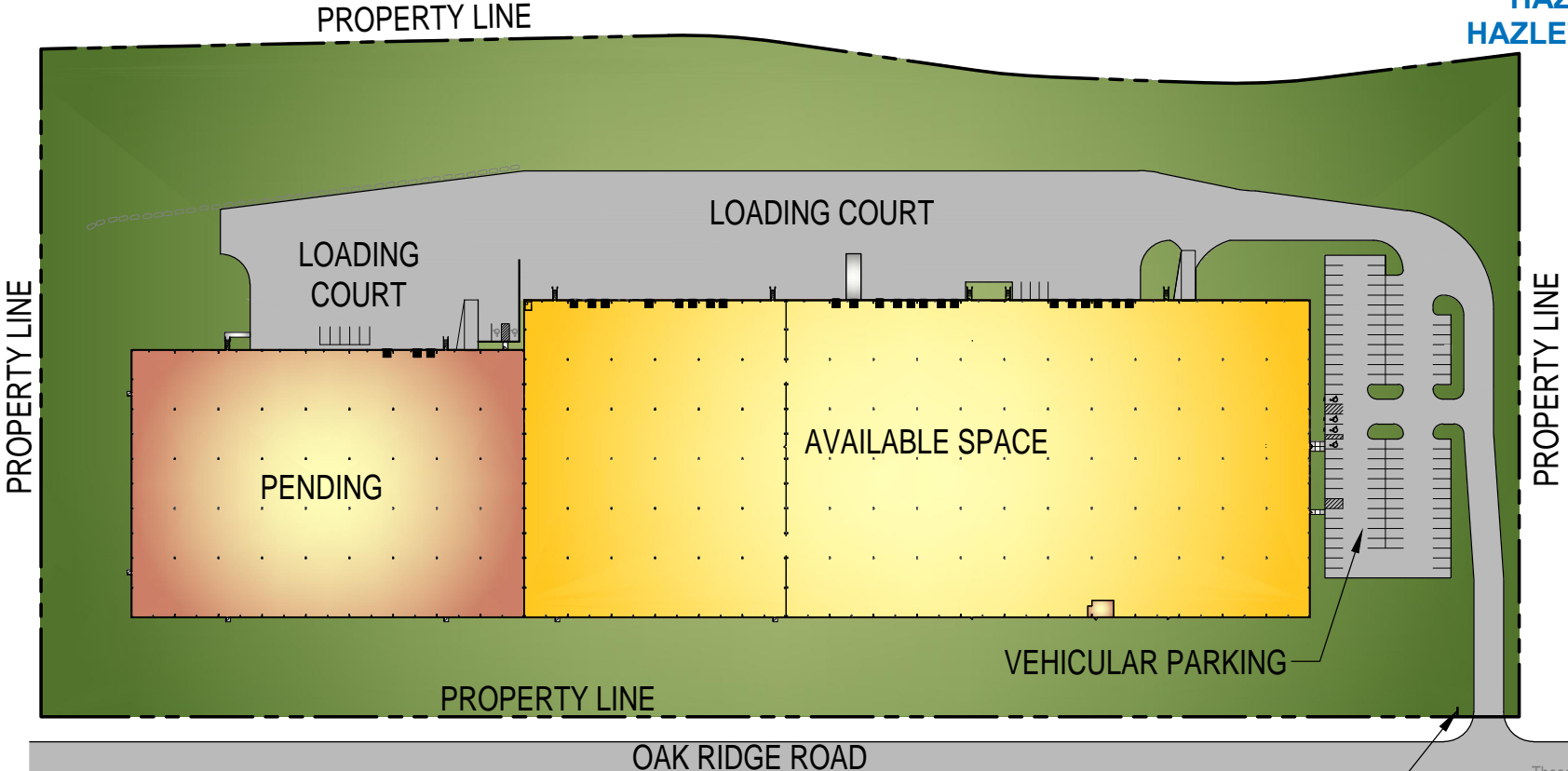
Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

EXISTING SITE PLAN

AVAILABLE 253,311 S.F. SPACE
WITHIN AN EXISTING 360,360 S.F. BUILDING

PARCEL #52A
585 OAK RIDGE ROAD
HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP
HAZLETON, PA 18202

VEHICULAR PARKING	101
DOCK DOORS	21
DRIVE-IN DOORS	2
ACREAGE	22.78



MARQUEE SIGN

These plans have been prepared solely for marketing purposes for the exclusive use of -- Mericle Commercial Real Estate Services

F:\Job\2313\mdcl\dwg-spec\Concepts\MKT - 585 OAK RIDGE ROAD (081017).dwg CK

570.823.1100
mericle.com


MERICLE
 COMMERCIAL REAL ESTATE SERVICES
 East Mountain Corporate Center
 100 Baltimore Drive
 Wilkes-Barre, PA 18702
Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 22.78 acres
- On-site parking for approximately 101 vehicles.
- Asphalt paving including heavy duty pave in truck areas.
- Professionally prepared and maintained landscape design.
- Marquee sign at site.

BUILDING IMPROVEMENTS

- Building contains 360,360 square feet.
- Overall building dimensions are 270' (length) x 396' (width) and 320' (length) x (792') width.
- Available space is 84,480 square feet to 253,311 square feet with a 4,481 square foot Main Office and a 3,198 square foot Shipping Office.
- Approximate 32' clear structural height at low eave. Approximate 36' clear structural height at ridge.
- 50' x 44' typical bay spacing with 60' loading bays.
- 6" concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system.
- Exterior wall system consisting of architectural masonry, aluminum frame windows and insulated metal wall panels.
- The Available Space contains twenty-two (22) 8'-6" x 9'-6" vertical-lift dock doors with 30,000 lb capacity mechanical levelers with bumpers.
- The Available Space contains one (1) 12' x 14' vertical-lift drive-in door with asphalt access ramp.
- Existing racking, air circulation fans, conveyors, etc. available.

UTILITIES AND BUILDING SYSTEMS

- Heating system is energy efficient gas-fired, unit heaters in the Warehouse and packaged gas/electric Trane roof top units in the Office Area.
- Electrical service is a 800 amp, 480/277V, 3 phase, expandable.
- Interior lighting is LED fixtures in the warehouse and fluorescent fixtures in the Office Areas.
- Fire protection system is an Early Suppression Fast Response (ESFR) wet sprinkler system with an Ordinary Hazard System in the Office Area.
- Provisions for domestic water and natural gas shall be provided.
- All utilities shall be separately metered.

**AVAILABLE 253,311 S.F. SPACE
WITHIN AN EXISTING 360,360 S.F. BUILDING**

**PARCEL #52A
585 OAK RIDGE ROAD
HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP
HAZLETON, PA 18202**

These plans have been prepared solely for marketing purposes for the exclusive use of -- Mericle Commercial Real Estate Services

F:\Job\2313\mdc\dwg-spec\Concepts\MKT - 585 OAK RIDGE ROAD (100317).dwg CK

570.823.1100
mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985