

560,000 SF

AVAILABLE FOR LEASE ON 61.46 ACRES

1057 HANOVER STREET
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



GREAT INDUSTRIAL SPACE ON THE I-81 CORRIDOR!



DIRECTIONS TO HANOVER STREET:

TRAVELING NORTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed one mile to 1057 Hanover Street on the right.

TRAVELING SOUTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed one mile to 1057 Hanover Street on the right.

PLANS AND SPECIFICATIONS

SIZE

- Building contains 560,000 square feet, expandable to 1,000,000 square feet.
- Building dimensions are 1,120'-0" (length) x 500'-0" (depth). Expansion dimensions are 880'-0" (length) x 500'-0" (depth).
- Existing office area is approx 4,000 square feet.
- Site contains approximately 61.46 acres

BUILDING CONSTRUCTION

- Exterior wall system shall consist of architectural masonry, aluminum glass entrance systems and metal wall panels with insulation.
- 6" concrete floor slab reinforced with welded steel mats.
- 31'-6" approximate clear structural height along loading walls.
- MR24 standing seam roof system with insulation.
- 50'-0" x 40'-0" bay spacing.

LOADING

- The building contains (74) 9'-0" x 10'-0" vertical lift dock doors and mechanical levelers with bumpers.
- The building contains (1) 14'-0" x 14'-0" vertical lift drive-in door with asphalt ramp.
- 6" thick x 60' deep, reinforced concrete apron at loading docks, each side.
- Asphalt paving, including heavy duty pave at truck areas.

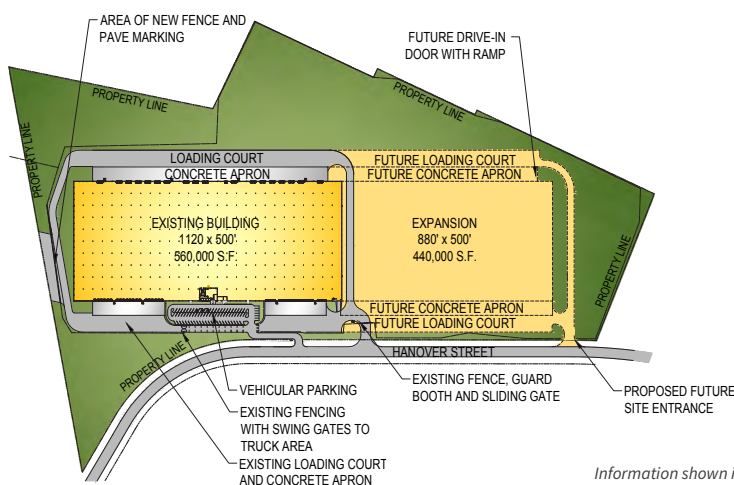
UTILITIES

- The existing warehouse heating system is gas-fired, suspended unit heaters. The office space has a packaged rooftop HVAC unit by Trane.
- The existing electrical service is 1600 amp, 277/480 volt, 3-phase service (expandable).
- The existing warehouse lighting is 400 Watt Metal Halide with lighting levels of 18 -22 FC average. Owner will consider updating warehouse to LED lighting. The office space has 2 x 4 fluorescent troffers with prismatic lenses.
- Fire Protection System is Early Suppression Fast Response (ESFR) sprinkler system with Light Duty Hazard in the office space.
- Provisions for domestic water and natural gas are provided
- All utilities shall be separately metered

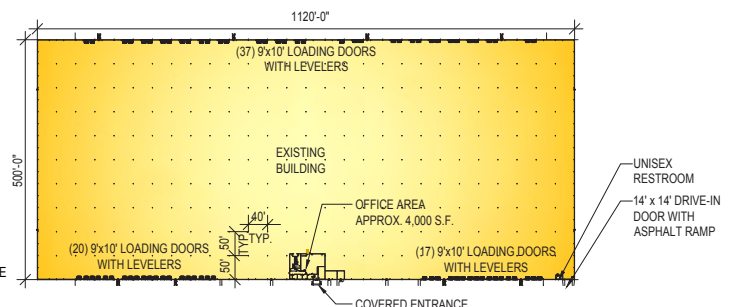
PARKING AND AMENITIES

- On-site parking for approximately 98 vehicles.
- Trailer storage of up to 571 spaces available in lieu of building expansion.
- 8' high galvanized fencing at perimeter of all truck traffic with (1) automatic sliding and (2) swing gate locations.
- Site has professionally maintained landscaping.
- Marquee sign at entrance to site
- LCTA Bus Route serves this park

SITE PLAN



FLOOR PLAN



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

SITE PLAN

AREA OF NEW FENCE AND
PAVE MARKING

FUTURE DRIVE-IN
DOOR WITH RAMP

**AVAILABLE 560,000 S.F. BUILDING
EXPANDABLE TO 1,000,000 S.F.**

**PARCEL #11
1057 HANOVER STREET
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PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

LOADING COURT
CONCRETE APRON

FUTURE LOADING COURT
FUTURE CONCRETE APRON

EXISTING BUILDING
1120 x 500'
560,000 S.F.

EXPANSION
880' x 500'
440,000 S.F.

FUTURE CONCRETE APRON
FUTURE LOADING COURT

HANOVER STREET

VEHICULAR PARKING
EXISTING FENCING
WITH SWING GATES TO
TRUCK AREA
EXISTING LOADING COURT
AND CONCRETE APRON

EXISTING FENCE, GUARD
BOOTH AND SLIDING GATE

PROPOSED FUTURE
SITE ENTRANCE

VEHICULAR PARKING	98
DOCK DOORS	74
DRIVE-IN DOORS	1
ACREAGE	61.46

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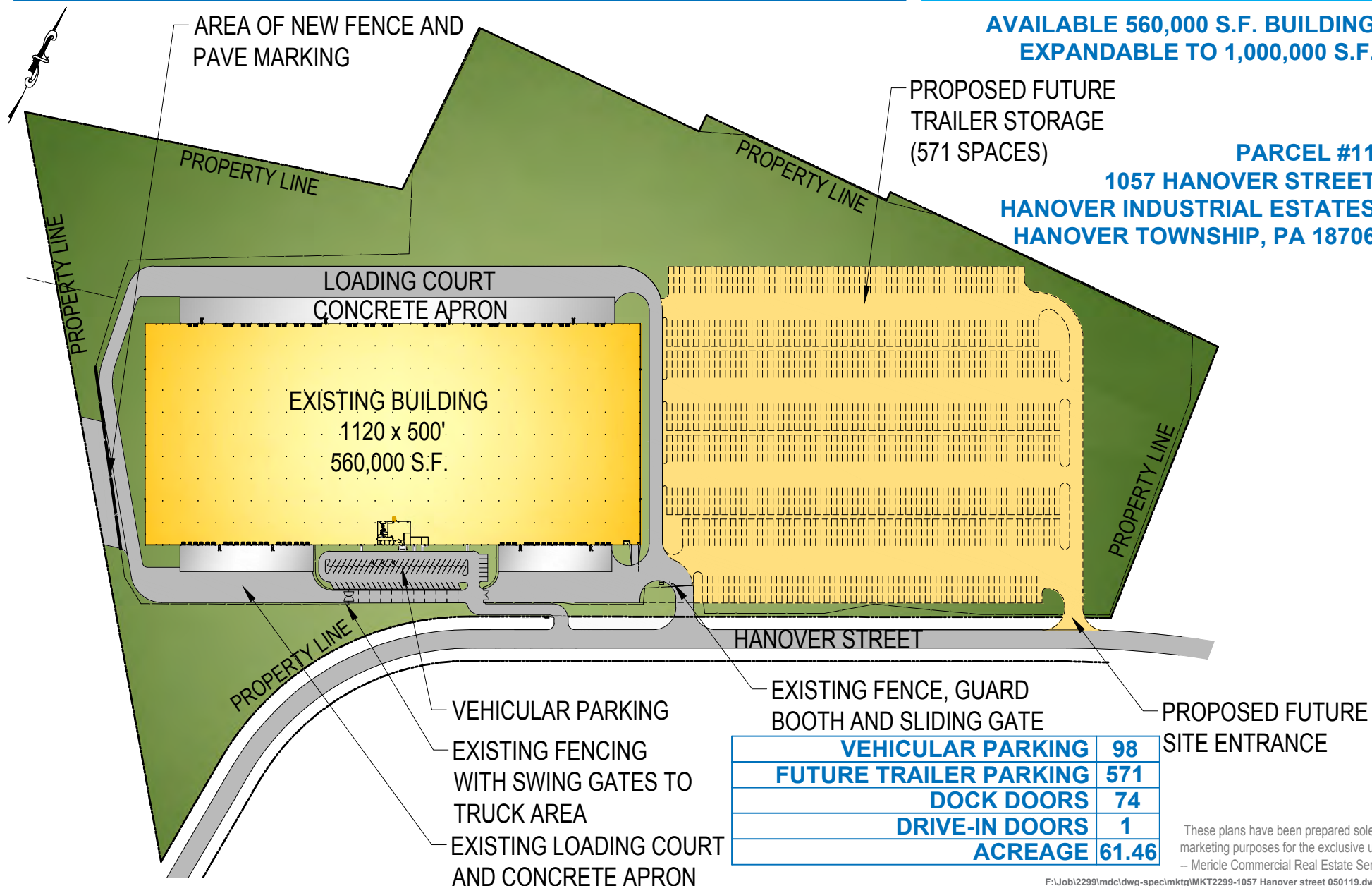
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SITE PLAN

**AVAILABLE 560,000 S.F. BUILDING
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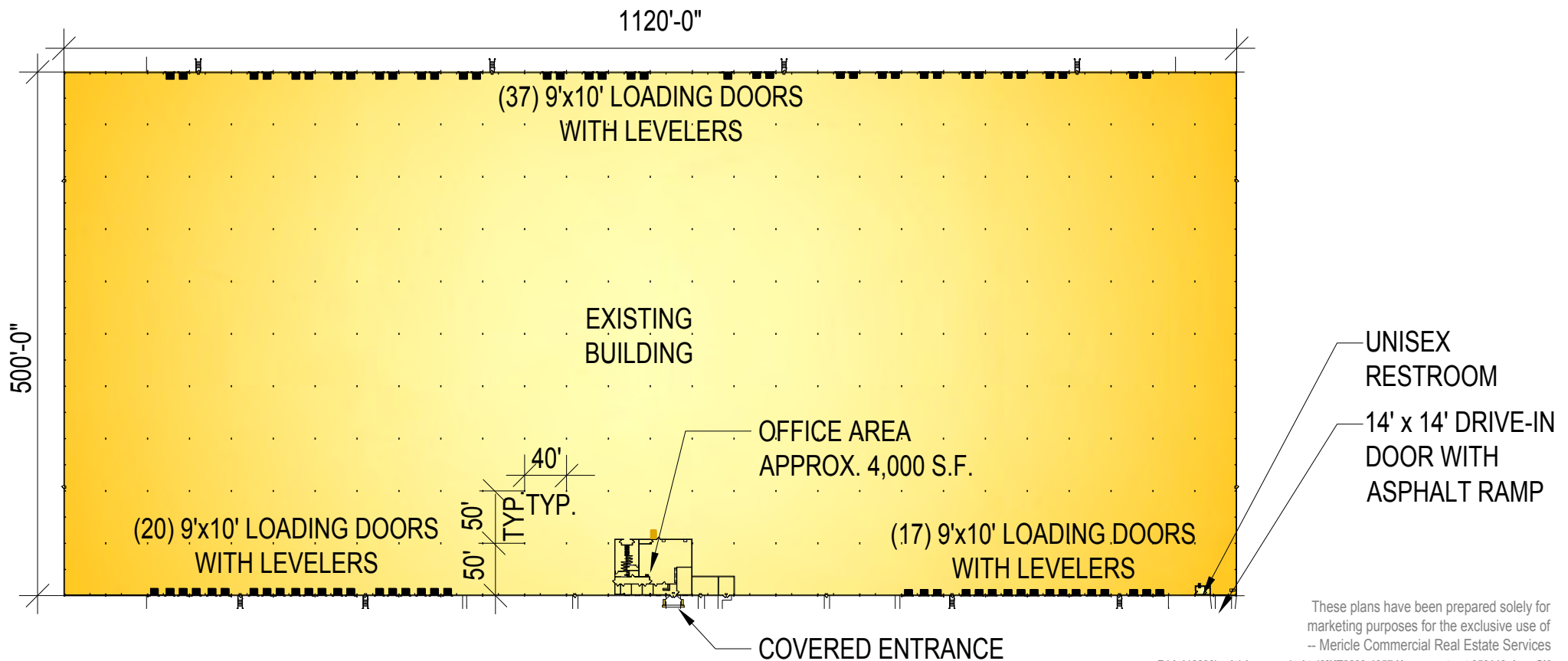
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EXISTING BUILDING PLAN

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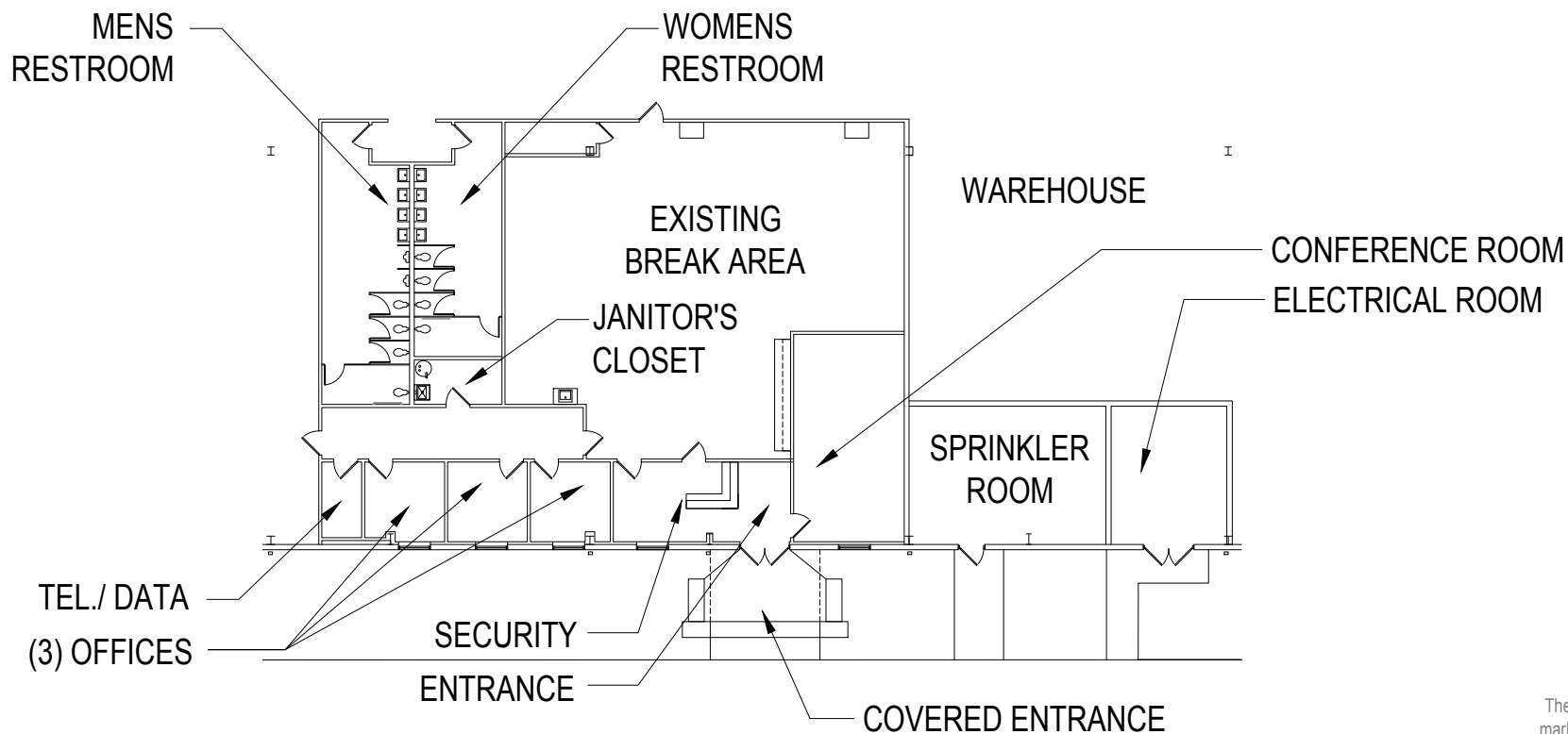
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ENLARGED FLOOR PLAN

AVAILABLE 560,000 S.F. BUILDING
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SPECIFICATIONS

SITE IMPROVEMENTS

- On-site parking for approximately (98) vehicles.
- Site contains approximately 61.46 acres.
- 6" thick x 60' deep, reinforced concrete apron at loading docks, each side.
- Asphalt paving, including heavy duty pave at truck areas.
- 8' high galvanized fencing at perimeter of all truck traffic with (1) automatic sliding and (2) swing gate locations.
- Professionally designed landscape and maintenance.
- Sign at site entrance.

BUILDING IMPROVEMENTS

- Building contains 560,000 square feet, expandable to 1,000,000 square feet.
- Building dimensions are 1,120'-0" (length) x 500'-0" (depth). Expansion dimensions are 880'-0" (length) x 500'-0" (depth) with 50'-0" x 40'-0" bay spacing. Existing office area is approx 4,000 square feet.
- 6" concrete floor slab reinforced with welded steel mats.
- MR24 standing seam roof system with insulation.
- Exterior wall system shall consist of architectural masonry, aluminum glass entrance systems and metal wall panels with insulation.
- The building contains (74) 9'-0" x 10'-0" vertical lift dock doors and mechanical levelers with bumpers.
- The building contains (1) 14'-0" x 14'-0" vertical lift drive-in door with asphalt ramp.
- 31'-6" approximate clear structural height along loading walls.

UTILITIES AND BUILDING SYSTEMS

- The existing warehouse heating system is gas-fired, suspended unit heaters. The office space has a packaged rooftop HVAC unit by *Trane*.
- The existing electrical service is 1600 amp, 277/480 volt, 3-phase service.
- The existing warehouse lighting is 400 Watt Metal Halide with lighting levels of 18 -22 FC average. The office space has 2 x 4 fluorescent troffers with prismatic lenses.
- Fire Protection System is Early Suppression Fast Response (ESFR) sprinkler system with Light Duty Hazard in the office space.
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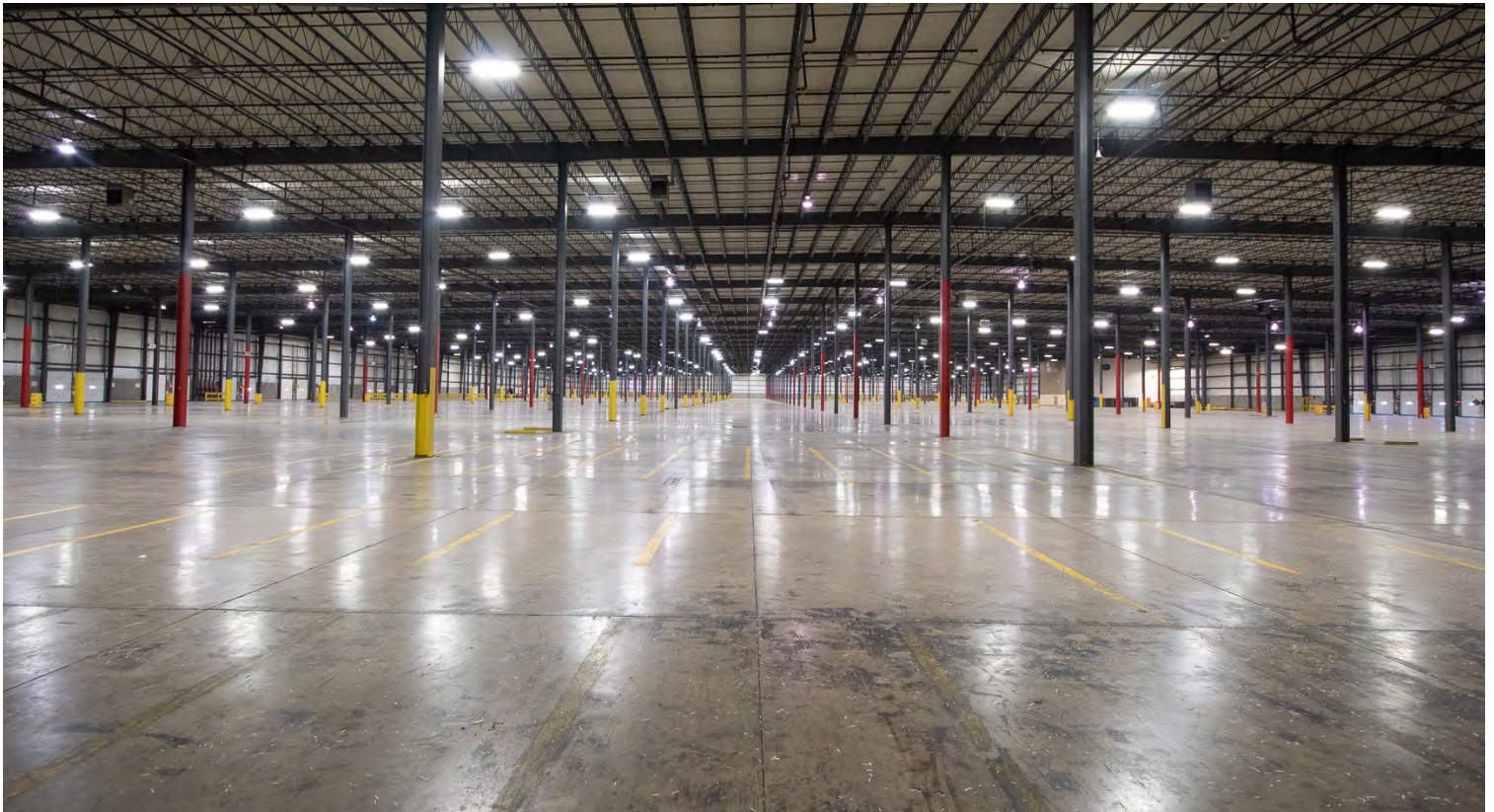
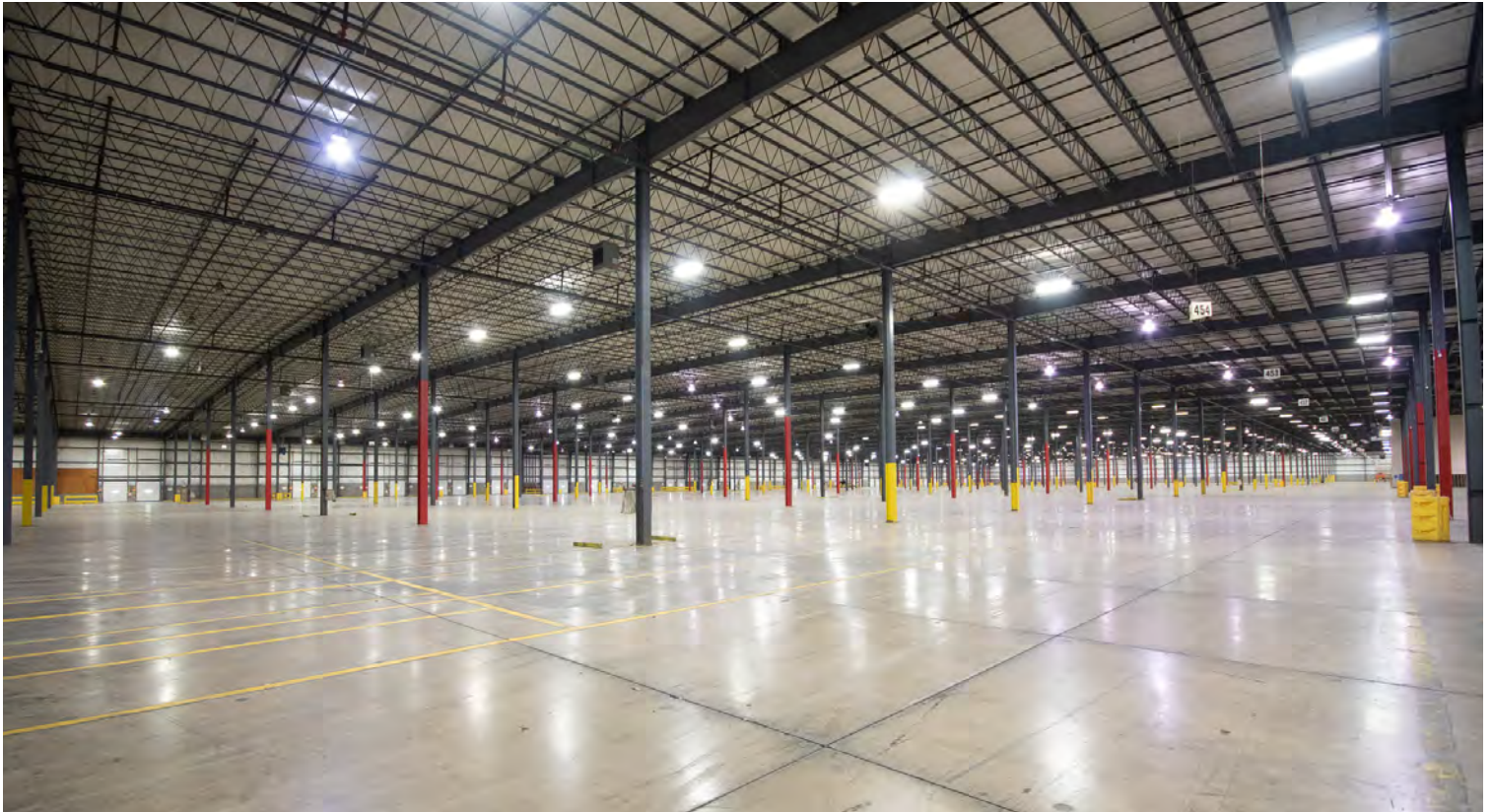


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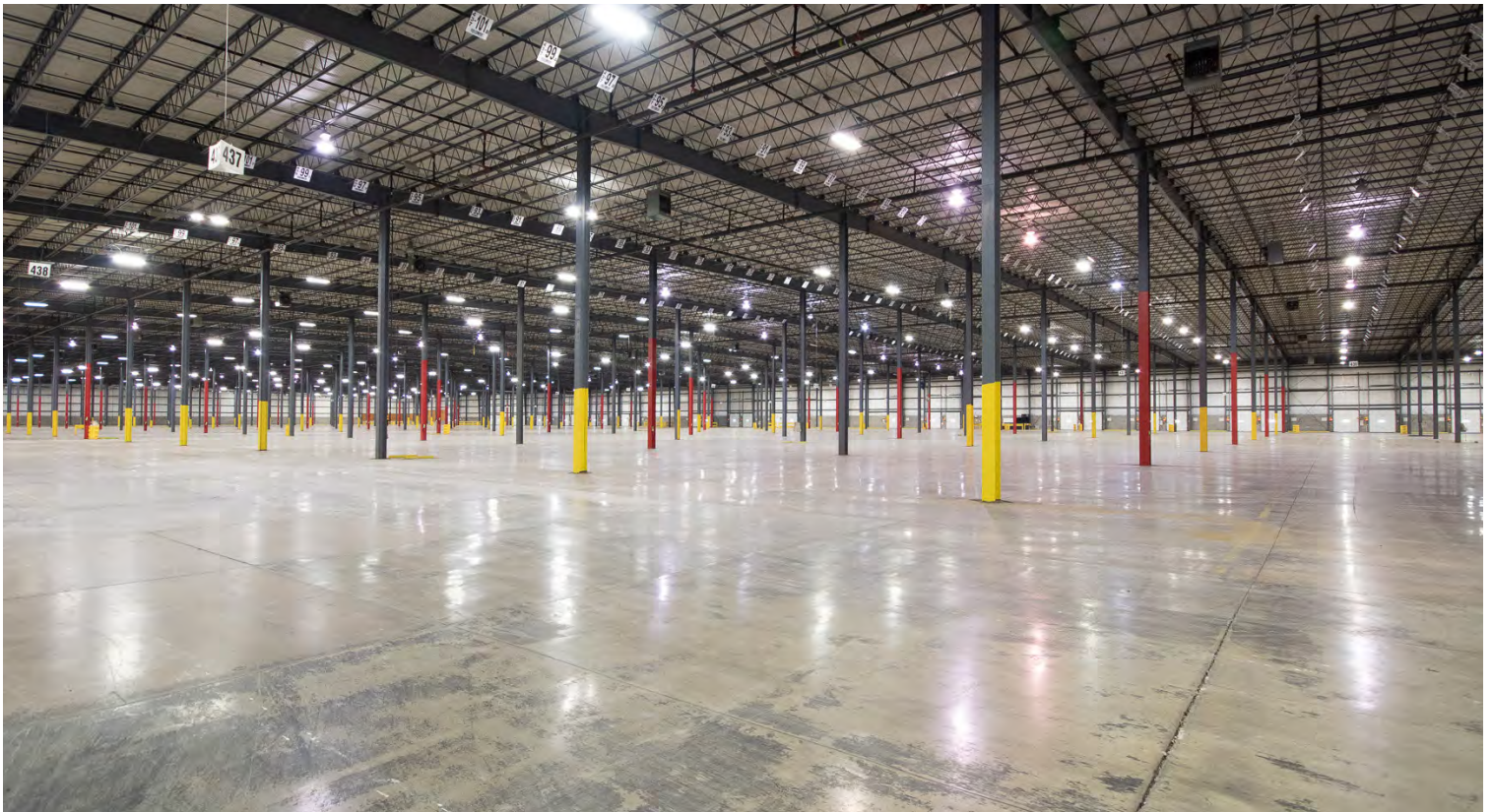


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