

9,853 SF

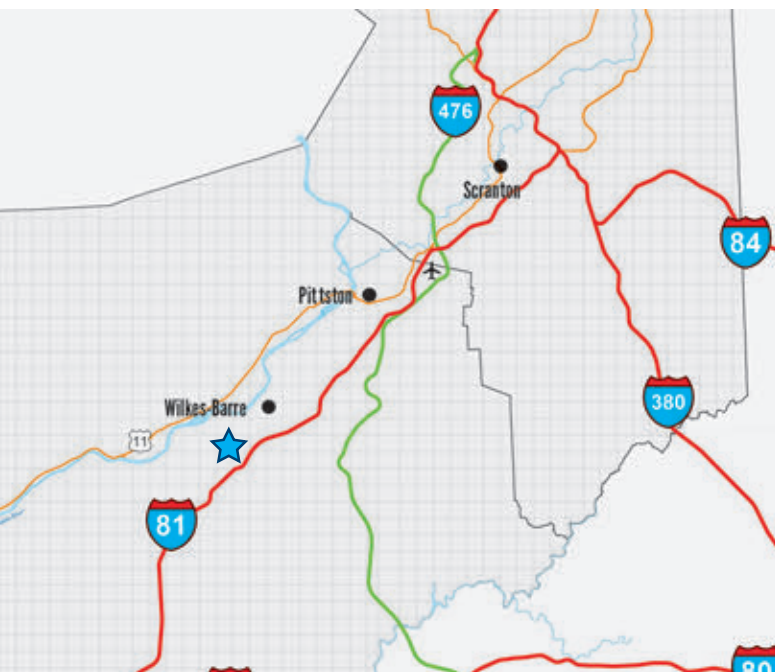
ON 11.21 ACRES

1065 HANOVER STREET

HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



EXCEPTIONAL ACCESS TO I-81



DIRECTIONS TO 1065 HANOVER STREET:

Traveling North on I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.7 miles and the building is on the right.

Traveling South on I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.7 miles and the building is on the right.

PLANS AND SPECIFICATIONS

SIZE

- **Available Space:** 9,853 square feet
- **Space Dimensions:** 65'-6" x 150'-0"
- **Office Area:** Includes 1,133 SF of office space
- **Acreage:** 11.21
- **Building Size:** 108,000 SF
- **Dimensions:** 720'-0" x 150'-0"

BUILDING CONSTRUCTION

- **Floor:** 6" thick concrete floor slab
- **Roof:** Building roof is precision roll formed Butler MR-24 panels
- **Column Spacing:** Typically 40' x 50'
- **Exterior Walls:** Masonry; Butler Shadowwall metal wall panel system with insulation
- **Ceiling Clear Height:** 26'-5" to 29'-6"

LOADING

- **Dock Equipment:** Existing Warehouse A has one (1) 8'-6" x 9'-6" vertical lift dock door with 30,000 lb capacity leveler with bumpers and one (1) 8'-0" x 8'-0" interior vertical lift door into Warehouse B area.
- Asphalt paving with heavy duty pave in truck areas

UTILITIES

- **Electrical Service:** 200 AMP, 3-phase, 120/ 208 volt
- **Warehouse/Office HVAC:** Trane, energy-efficient, rooftop, packaged gas heat/electric cooling, individually controlled units
- **Warehouse Lighting:** 400 watt metal halide high-bay light fixtures designed to 18 - 22 fcs average. LED upgrade available.
- **Office Lighting:** 2 x 4 florescent lighting fixtures with prismatic lenses
- **Fire Protection:** Light Hazard classification, wet pipe sprinkler system
- **Utilities:** Provisions for domestic water and natural gas are provided, all utilities shall be separately metered
- **Telecommunications:** Level 3, Service Electric, Verizon

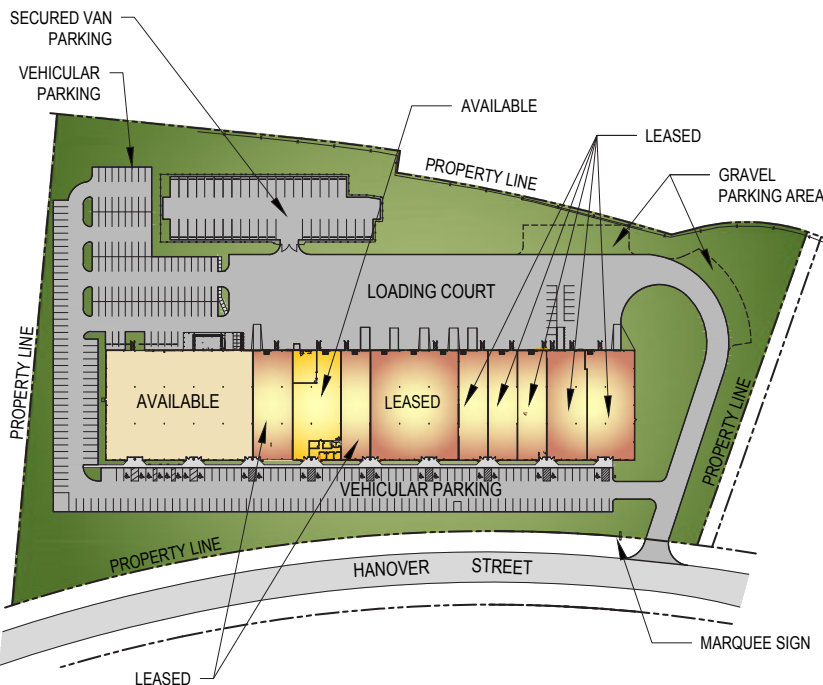
PARKING & LANDSCAPING

- **Vehicular Parking:** 29 vehicles
- Marquee sign with masonry base at site entrance
- Professionally prepared landscape design

LOCATION

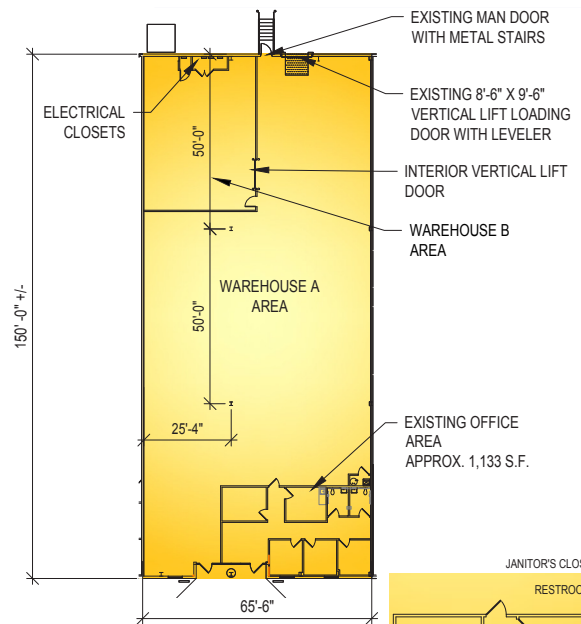
- More than 712,000 people live within 30 miles of Hanover Industrial Estates
- Less than 5 minutes from I-81 via S.R. 309

SITE PLAN

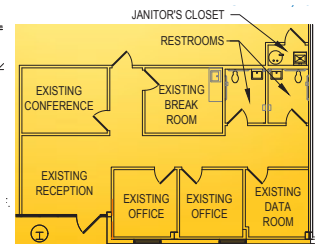


Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

FLOOR PLAN



OFFICE PLAN



1065 HANOVER STREET

HANOVER INDUSTRIAL ESTATES • HANOVER TOWNSHIP, PA

9,853 SF



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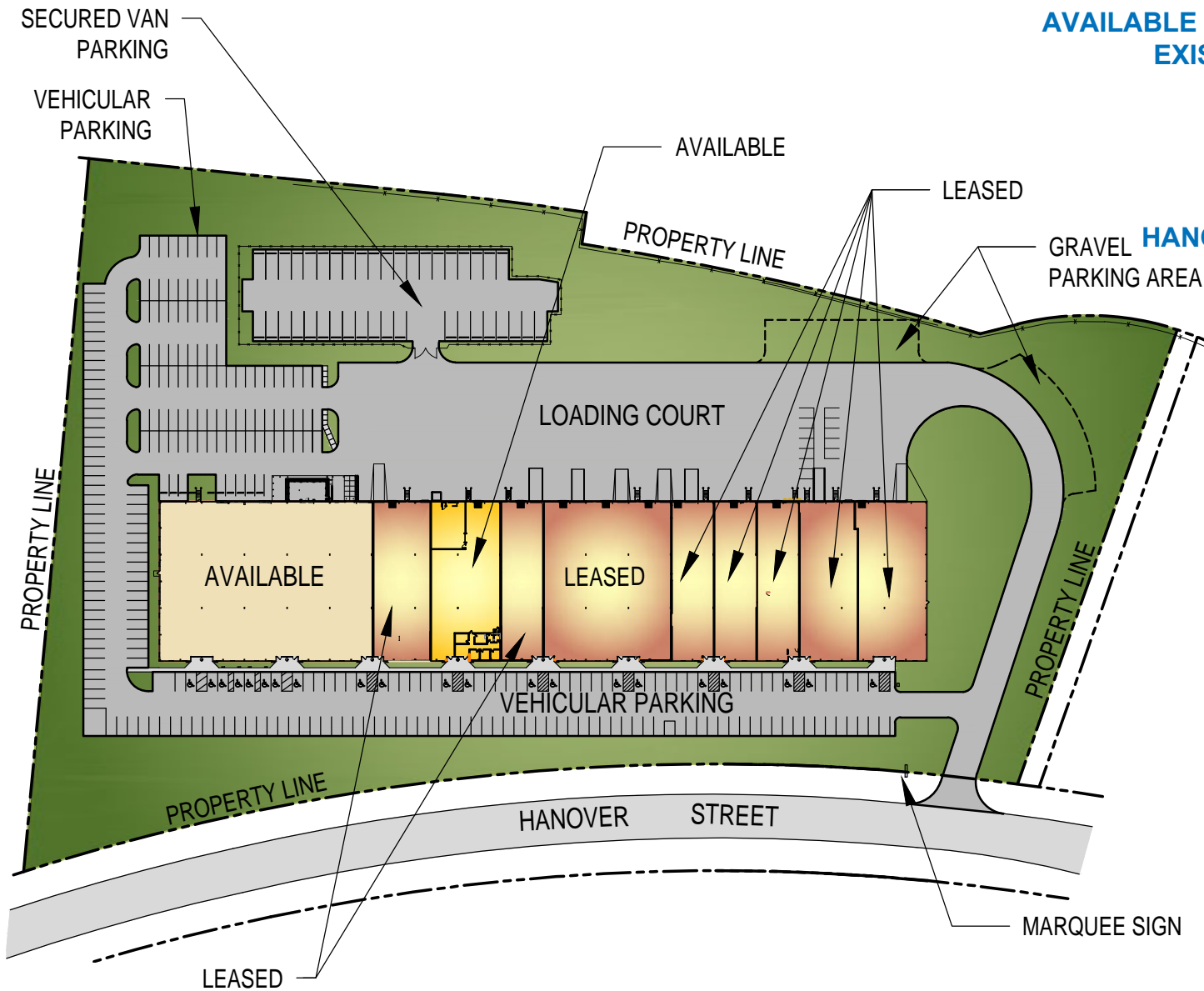
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EXISTING SITE PLAN

**AVAILABLE 9,853 S.F. SPACE WITHIN AN
EXISTING 108,000 S.F. BUILDING**

**1065 HANOVER STREET
SUITE 101
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP
PENNSYLVANIA, 18706**



AVAILABLE S.F.	9,853 S.F.
PARKING SPACES	17
LOADING DOORS	1
ACREAGE	11.21

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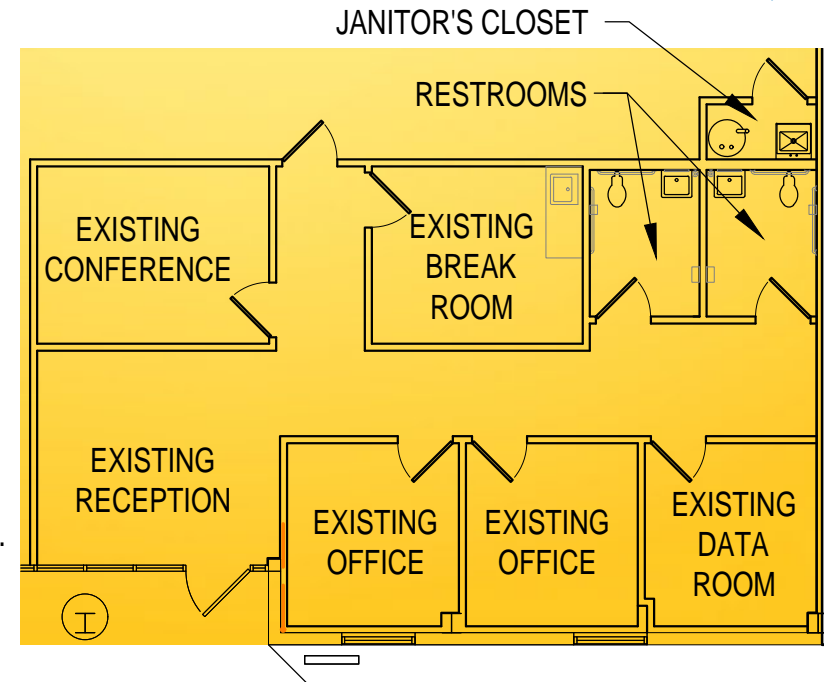
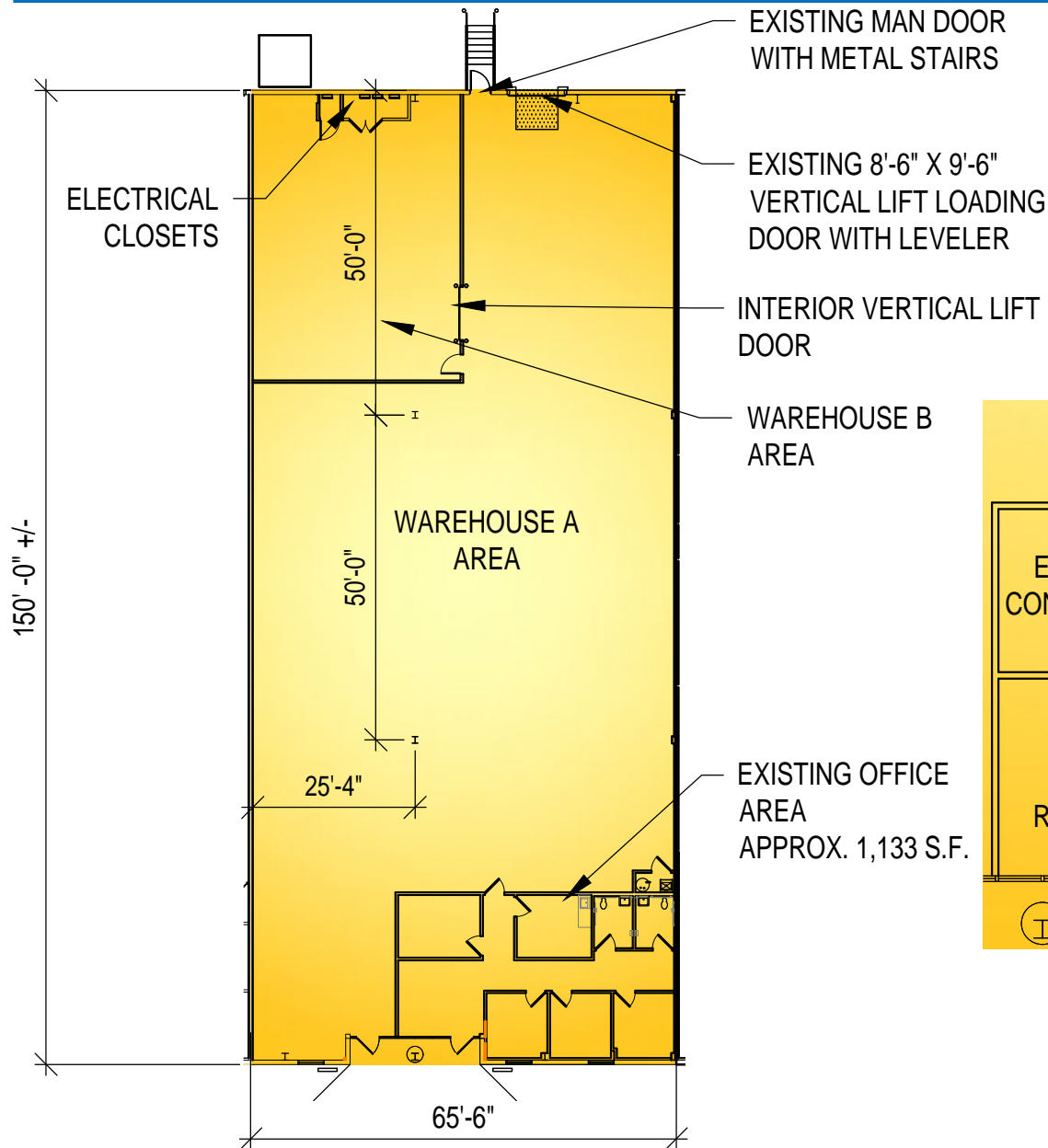
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EXISTING FLOOR PLAN

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PENNSYLVANIA, 18706**



ENLARGED OFFICE PLAN

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SPECIFICATIONS

SITE IMPROVEMENTS

- Site contains approximately 11.21 acres
- On-site parking for approximately 17 vehicles.
- Asphalt paving with heavy duty pave in truck areas.
- Marquee sign with masonry base at site entrance.
- Professionally prepared landscape design.

BUILDING IMPROVEMENTS

- Existing Building is 108,000 square feet.
- Available space contains 9,853 square feet.
- 6" thick reinforced concrete floor slab .
- Building roof is precision roll formed Butler MR-24 panels.
- Exterior wall system is constructed with a combination of architectural masonry, aluminum frame entrance system, and insulated metal wall panels.
- Existing office area is approx. 1,133 S.F.
- Existing Warehouse A has one (1) 8'-6" x 9'-6" vertical lift dock door with 30,000 lb capacity leveler with bumpers.
- Existing Warehouse has one (1) 8'-0" X 8'-0" interior vertical lift door into Warehouse B area.
- 26'-5" clear structural height at low eave.
- 29'-6" clear structural height at high eave.

UTILITIES AND BUILDING SYSTEMS

- Existing electrical service is a 200 AMP, 120/208 volt, 3- phase service.
- Existing warehouse lighting is 400 watt metal halide high-bay light fixtures designed to 18 - 22 foot candles average.
- Existing office area lightings is 2 x 4 florescent lighting fixtures with prismatic lenses.
- The heating/ cooling system in the Office Area and Warehouse is packaged, gas/electric roof top units.
- Provisions for domestic water and natural gas are provided.
- All utilities shall be separately metered.
- Fire Protection System is an Ordinary Hazard, Class III, wet sprinkler system.

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EXISTING 108,000 S.F. BUILDING**

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