

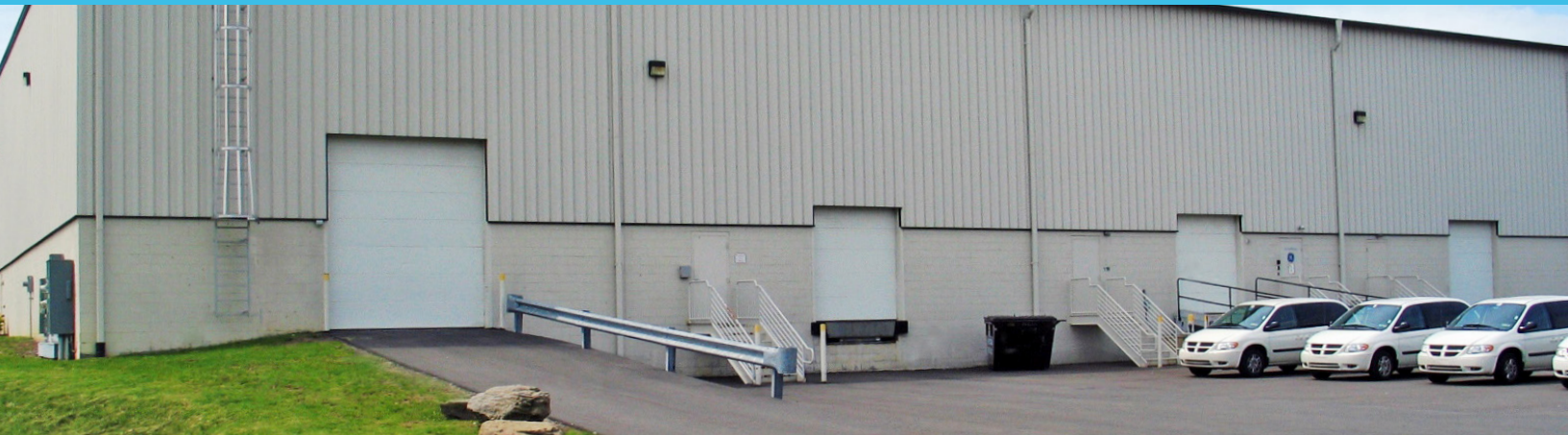
9,575 SF

AVAILABLE FOR LEASE ON 11.21 ACRES

1069 HANOVER STREET
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



GREAT INDUSTRIAL SPACE ON THE I-81 CORRIDOR!



DIRECTIONS TO HANOVER STREET:

TRAVELING NORTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed .5 mile to 1069 Hanover Street on the right.

TRAVELING SOUTH ON I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Proceed .5 mile to 1069 Hanover Street on the right.

PLANS AND SPECIFICATIONS

SIZE

- Available space contains 9,575 square feet.
- Building contains 108,000 square feet.
- Existing office area is approximately 3,456 square feet.
- Site contains approximately 11.21 acres.

BUILDING CONSTRUCTION

- Exterior wall system is constructed with a combination of architectural masonry, aluminum frame entrance system, and insulated metal wall panels.
- 6" thick reinforced concrete floor slab.
- 26'-5" clear structural height at low eave, 29'-6" clear structural height at high eave.
- Building roof is precision roll formed Butler MR-24 panels.
- 50'-0" x 40'-0" bay spacing

LOADING

- Existing Warehouse has one (1) 8'-6" x 9'-6" vertical lift dock door with 30,000 lb capacity leveler with bumpers.
- Existing Warehouse has one (1) 12'-0" x 14'-0" Drive-In door with asphalt ramp.
- Asphalt paving with heavy duty pave in truck areas.

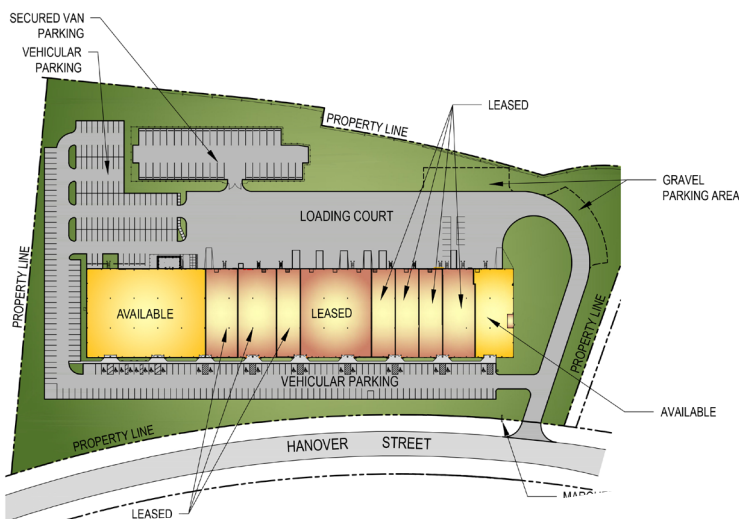
UTILITIES

- Existing electrical service is a 200 AMP, 120/208 volt, 3- phase service.
- Existing warehouse lighting is 400 watt metal halide high-bay light fixtures designed to 18 - 22 foot candles average.
- Existing office area lightings is 2 x 4 florescent lighting fixtures with prismatic and parabolic lenses.
- Existing warehouse heating is provided by gas-fired unit heaters.
- The heating/ cooling system in the Office Area is packaged, gas/electric roof top unit.
- Domestic water and natural gas provided.
- All utilities separately metered.
- Fire Protection System is an Ordinary Hazard, Class III, wet sprinkler system.

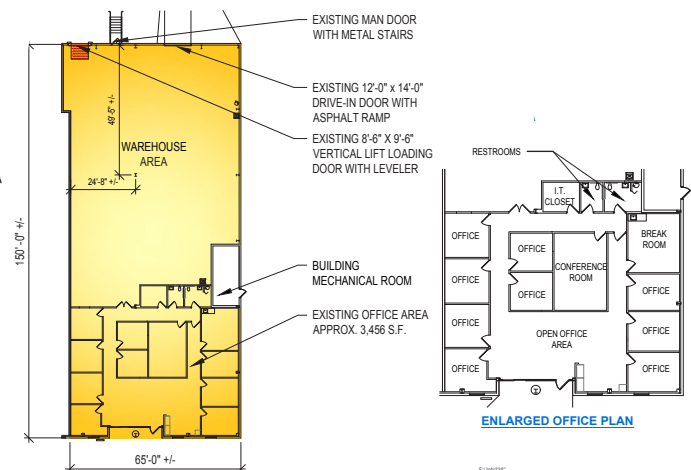
PARKING AND AMENITIES

- On-site parking for approximately 12 vehicles with additional gravel parking for 10 vehicles.
- Marquee sign with masonry base at site entrance.
- Professionally prepared landscape design.

SITE PLAN



FLOOR PLAN



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