

30,147 SF

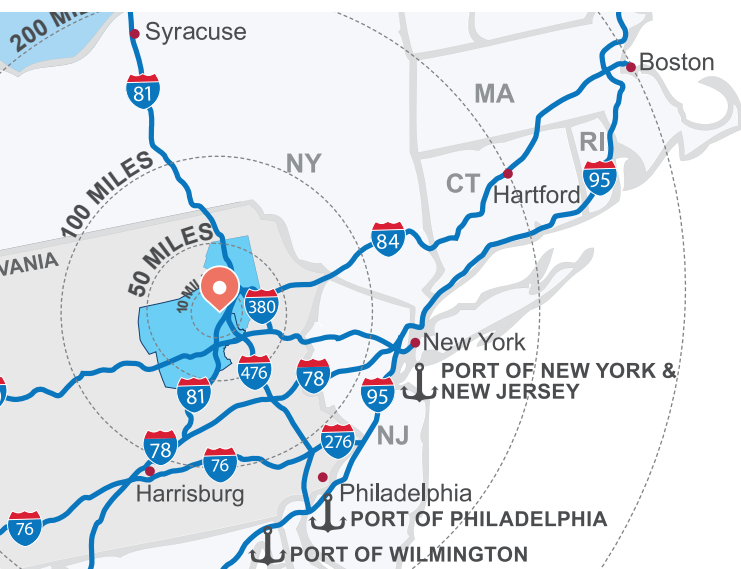
ON 11.21 ACRES AVAILABLE FOR LEASE

1061 HANOVER STREET

HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



PLUG-AND-PLAY CALL CENTER



DIRECTIONS TO 1061 HANOVER STREET:

Traveling North on I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.6 miles and the building is on the right.

Traveling South on I-81

Take exit 164 to PA-29 N toward Nanticoke/US-11. Then take exit 1 toward Sugar Notch/Ashley. Proceed straight off the exit ramp. At the stop sign continue straight on Hanover Street. Drive 0.6 miles and the building is on the right.

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570.823.1100

PLANS AND SPECIFICATIONS

SIZE

- **Available Space:** 30,147 SF
- **Dimensions:** 150' x 200'
- **Acreage:** 11.21 acres
- **Building Size:** 108,000 SF
- **Vehicular Parking:** 204 vehicles

BUILDING CONSTRUCTION

- **Roof:** Building roof is precision roll-formed Butler MR-24 panels with insulation.
- **Exterior Walls:** The exterior wall system is constructed with a combination of architectural masonry, aluminum frame entrance system, and metal wall panels with insulation. Exterior perimeter contains 4' -0" x 4' -0" insulated, aluminum frame windows.
- **Interior:** Interior improvements include: carpet tile flooring, porcelain and ceramic tile in restrooms and reception area, existing systems furniture and furnishings, (11) full glass sliding doors multiple ceiling heights ranging from 9' a.f.f. to 14' a.f.f., decorative wood wall trim, wood chair rail, and office doors with sidelights.
- **Floor:** 6" thick reinforced concrete floor slab.

UTILITIES

- **HVAC:** The heating/ cooling system is packaged, zoned, gas/electric roof top units with programmable thermostats.

- **Electrical Service:** Existing electrical service is a 800 AMP, 480/277 volt, 3- phase service with emergency power off switch (EPO) provided in Server Room, and existing 500kw, 277/480V diesel back up generator.
- **Lighting:** Existing office area lights are a combination of linear fluorescent pendants, 2 x 4 fluorescent troffers with parabolic lenses, 2 x 4 fluorescent troffers with prismatic lenses, recessed can lights, and accent lighting throughout space.
- **Fire Protection:** Existing sprinkler system is Light Hazard with Preaction Sprinkler System in Server Room.
- **Utilities:** Separately Metered, Public Water, Sewer, Gas, and Electric
- **Telecommunications:** Redundant data/ communications available in park.
- **Data:** The Server Room has (2) existing, 5-ton Liebert Units.

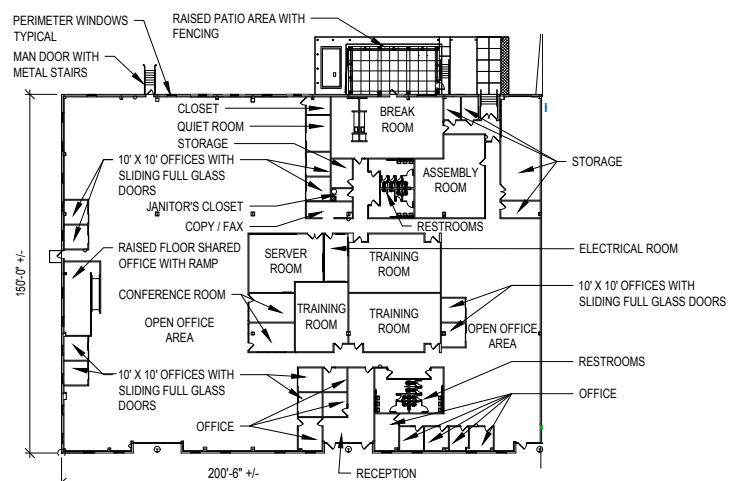
LOCATION & AMENITIES

- Less than five minutes from I-81
- More than 470,000 live within 20 miles of the park
- Secured, covered outside patio.
- Marquee sign with masonry base at site entrance.
- Professionally prepared landscape design.

SITE PLAN



FLOOR PLAN



Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions

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EXISTING SITE PLAN

AVAILABLE 30,147 S.F. SPACE WITHIN AN
EXISTING 108,000 S.F. BUILDING

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HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP
PENNSYLVANIA, 18706



AVAILABLE S.F.	30,147 S.F.
PARKING SPACES	204
ACREAGE	11.21

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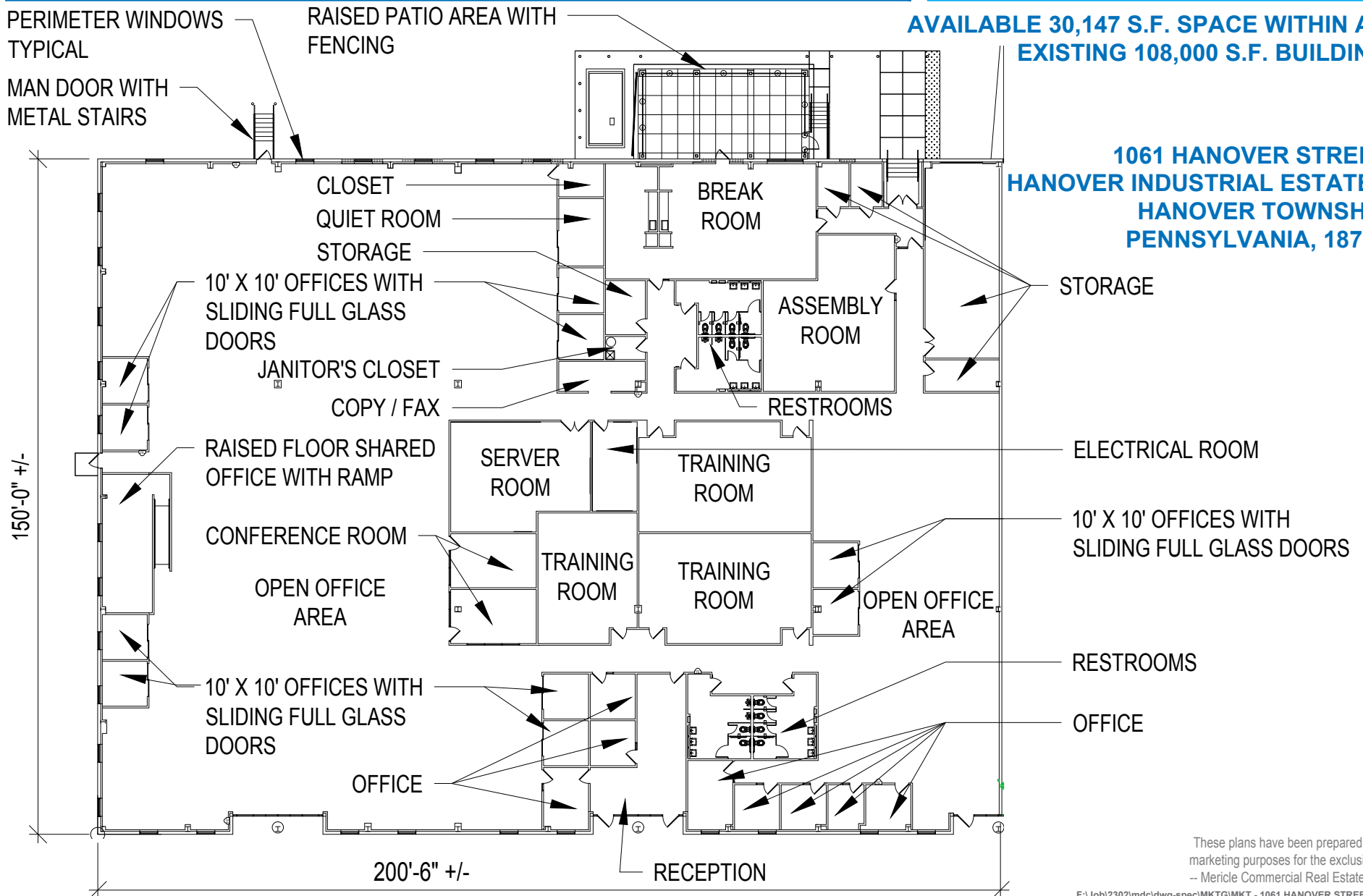
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EXISTING FLOOR PLAN

**AVAILABLE 30,147 S.F. SPACE WITHIN AN
EXISTING 108,000 S.F. BUILDING**

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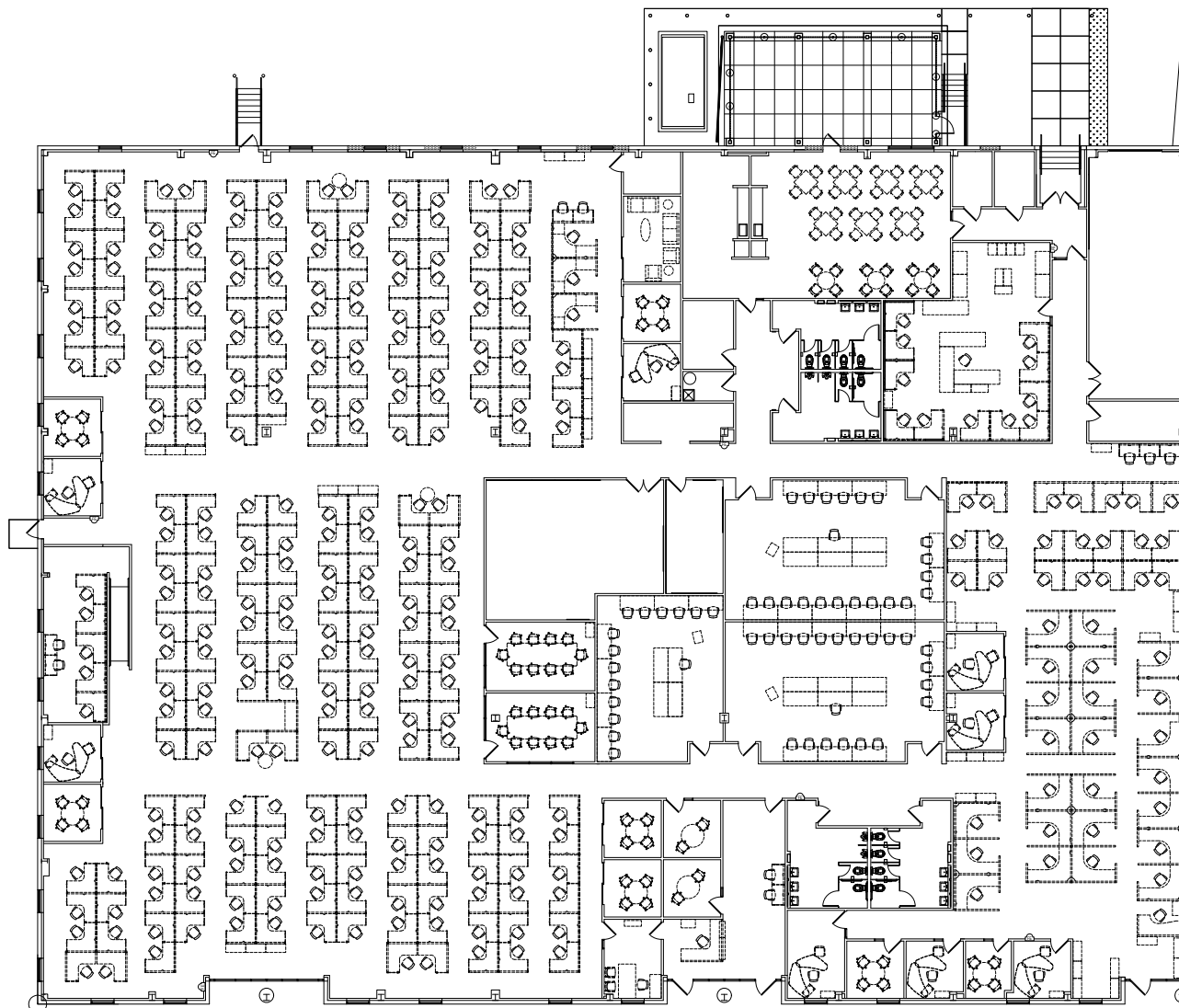
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EXISTING FURNITURE PLAN

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SPECIFICATIONS

SITE IMPROVEMENTS

**AVAILABLE 30,147 S.F. SPACE WITHIN AN
EXISTING 108,000 S.F. BUILDING**

- Site contains approximately 11.21 acres
- On-site parking for approximately 204 vehicles.
- Secured, covered outside patio.
- Marquee sign with masonry base at site entrance.
- Professionally prepared landscape design.

BUILDING IMPROVEMENTS

- Existing Building is 108,000 square feet.
- Available space dimensions are approximately 150' x 200' AND Contains 30,147 square feet, entirely fit-out as call center/office space.
- Interior improvements include: carpet tile flooring, porcelain and ceramic tile in Restrooms and Reception Area, existing systems furniture and furnishings, (11) full glass sliding doors multiple ceiling heights ranging from 9' a.f.f. to 14' a.f.f., decorative wood wall trim, wood chair rail, and office doors with sidelights. subfloor is 6" thick reinforced concrete floor slab.
- Building roof is precision roll-formed *Butler* MR-24 panels with insulation.
- The exterior wall system is constructed with a combination of architectural masonry, aluminum frame entrance system, and metal wall panels with insulation.
- (1) existing 8'-6" x 9'-6" overhead door to storage area.
- Exterior perimeter contains 4' -0" x 4'-0" insulated, aluminum frame windows.

UTILITIES AND BUILDING SYSTEMS

- Existing electrical service is a 800 AMP, 480/277 volt, 3- phase service with emergency power off switch (EPO) provided in Server Room, and existing 500kw, 277/480V diesel back up generator.
- Existing office area lights are a combination of linear fluorescent pendants, 2 x 4 fluorescent troffers with parabolic lenses, 2 x 4 fluorescent troffers with prismatic lenses, recessed can lights, and accent lighting throughout space.
- The heating/ cooling system is packaged, zoned, gas/electric roof top units with programmable thermostats.
- The Server Room has (2) existing, 5-ton *Liebert* Units.
- Existing sprinkler system is Light Hazard with *Preaction Sprinkler System* in Server Room.
- Provisions for domestic water and natural gas are provided.
- All utilities are separately metered.
- Redundant data/communications available in park.

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