

156,790 SF
ON 6.00 ACRES

400 STEWART ROAD
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



NEW INDUSTRIAL SPACE WITH LARGE EXISTING OFFICE
A 103,750 SF EXPANSION TO A 53,040 SF BUILDING



SPECIFICATIONS

SIZE

- 156,790 SF industrial space available comprised of 53,040 SF existing building on 6.0+ acres with 103,750 SF expansion in progress.
- The Existing Building contains 41,790 SF on the ground floor level with a 11,250 SF second floor level.
- The Existing Building dimensions are 275'-0" (length) x 150'-0" (depth). The Expansion Building dimensions shall be 500'-0" (length) x 200'-0" (depth) with a 25'-0" x 150'-0" snow drift bay.
- The Existing Building contains an approximate 3,380 SF, raised-access flooring Computer Center with dedicated HVAC.

BUILDING CONSTRUCTION

- **Building Walls:** Exterior wall systems consists of architectural masonry, aluminum frame window systems, metal wall panels with insulation, and E.I.F.S. at entrance facade.
- **Ceiling Height:** The Expansion Building shall have a 34'-6" minimum approximate clear structural height along loading dock wall.
- **Roof:** The Existing Building and Expansion Building shall have a Butler Manufacturing, MR-24 metal roof system
- **Column Spacing:** 50'-0" x 50'-0" typical bay spacing with 25'-0" x 25'-0" bay spacing beneath second story.
- **Floor:** The Existing Building subfloor is 6" concrete floor slab reinforced with welded steel mats. The Expansion Building shall have a minimum 6" thick concrete floor slab, reinforced with welded steel mats. The floor shall be treated with SpecHard silicate sealer / densifier and E-Cure curing compound.

LOADING

- The Expansion Building shall contain eighteen (18) 9'-0" x 10'-0" vertical lift dock doors by Haas Door or equal with minimum 35,000 LB capacity mechanical levelers with bumpers by Rite-Hite or equal. The Existing Building contains two (2) 10' x 12' drive-in doors at grade.

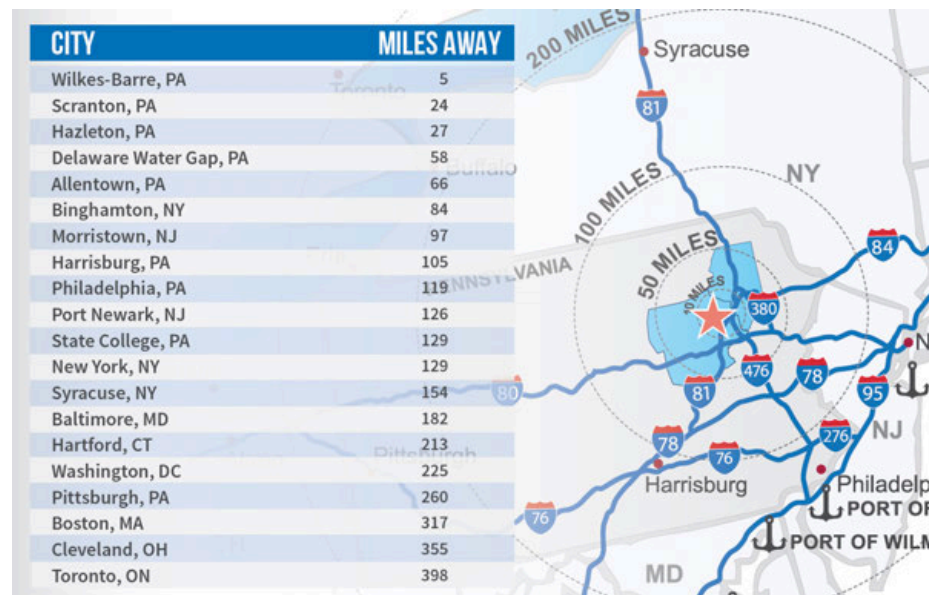
UTILITIES

- **Electrical Service:** The Existing Building electrical service includes (2) 400 amp, 480/277 volt 3 phase services and a 600 amp, 480/277 volt 3 phase service. The Expansion Building service shall consist of (1) 400 amp, 408/277 volt 3 phase service.
- **Telecommunications:** Copper and fiber lines serve the building. Multiple telecom providers serve the park
- **Lighting:** The expansion area warehouse lighting shall consist of energy-efficient LED fixtures.
- **Fire Protection System:** The Existing Building Fire Protection System is an Ordinary Hazard Class III. The Expansion Building Fire Protection System shall consist of Early Suppression Fast Response (ESFR) wet sprinkler system.
- **HVAC:** The Existing Building warehouse heating system is gas-fired, suspended unit heaters. The Expansion Building warehouse heating/ventilation system shall consist of energy efficient, roof mounted Cambridge direct-fire units. The Existing Building office space is heated and conditioned by multiple roof top packaged HVAC units.
- **Water/Gas:** Provisions for domestic water and natural gas have been provided.

PARKING & AMENITIES

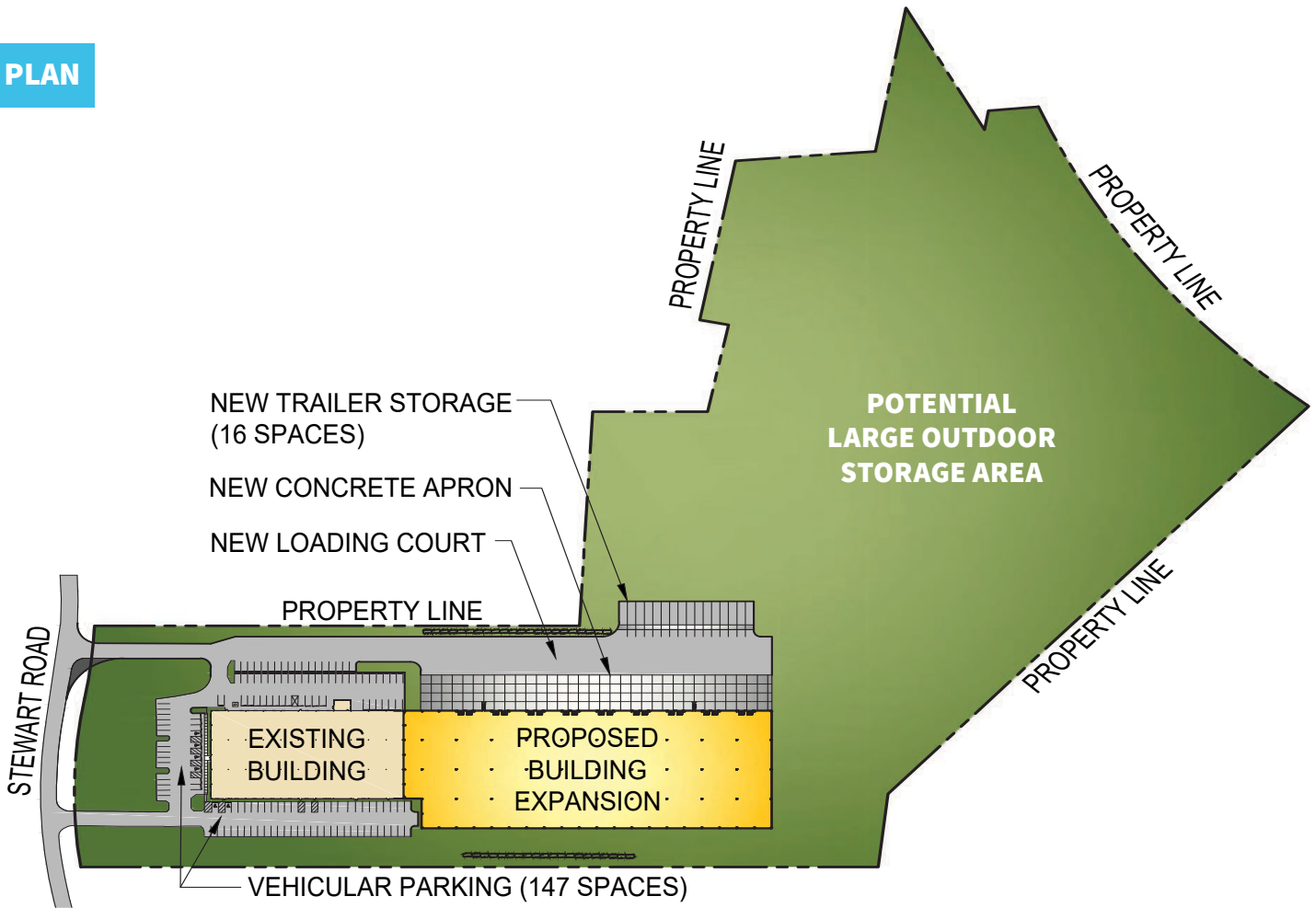
- On-site parking for approximately one-hundred forty-seven (147) vehicles. On-site trailer storage for approximately sixteen (16) trailers with 8' wide concrete dolly pad.
- Land behind the building can be utilized for a large trailer storage area.
- Professionally designed landscape and maintenance.
- Marquee sign at site entrance.

HANOVER INDUSTRIAL ESTATES IS AN EASY DRIVE FROM MANY KEY CITIES

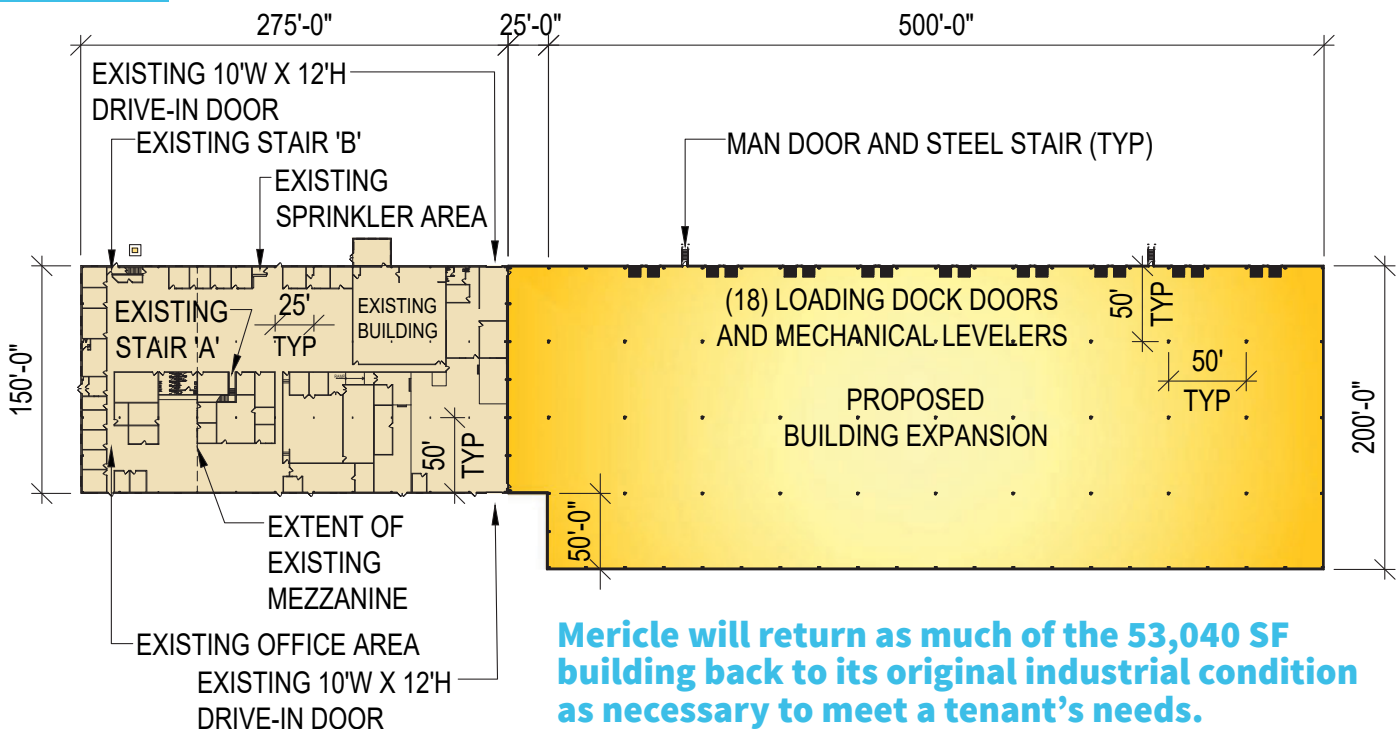


PLANS

SITE PLAN



FLOOR PLAN



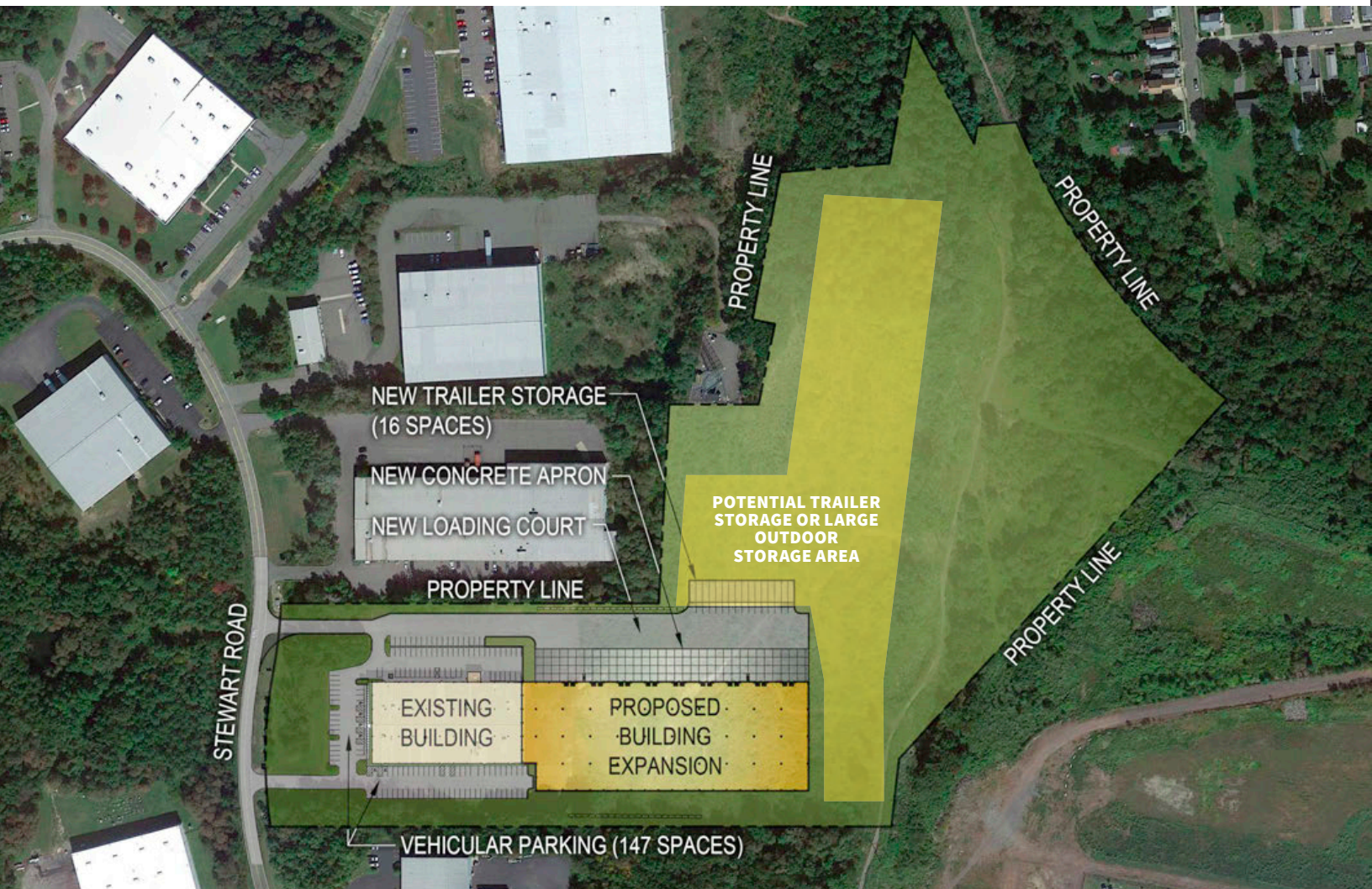
Mericle will return as much of the 53,040 SF building back to its original industrial condition as necessary to meet a tenant's needs.

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MERICLE
COMMERCIAL REAL ESTATE SERVICES

EAST MOUNTAIN CORPORATE CENTER
100 BALTIMORE DRIVE, WILKES-BARRE, PA 18702

DEVELOPMENT DIVISION
570.823.1100





Mericle, a Butler Builder®, is proud to be part of a network of building professionals dedicated to providing you the best construction for your needs.

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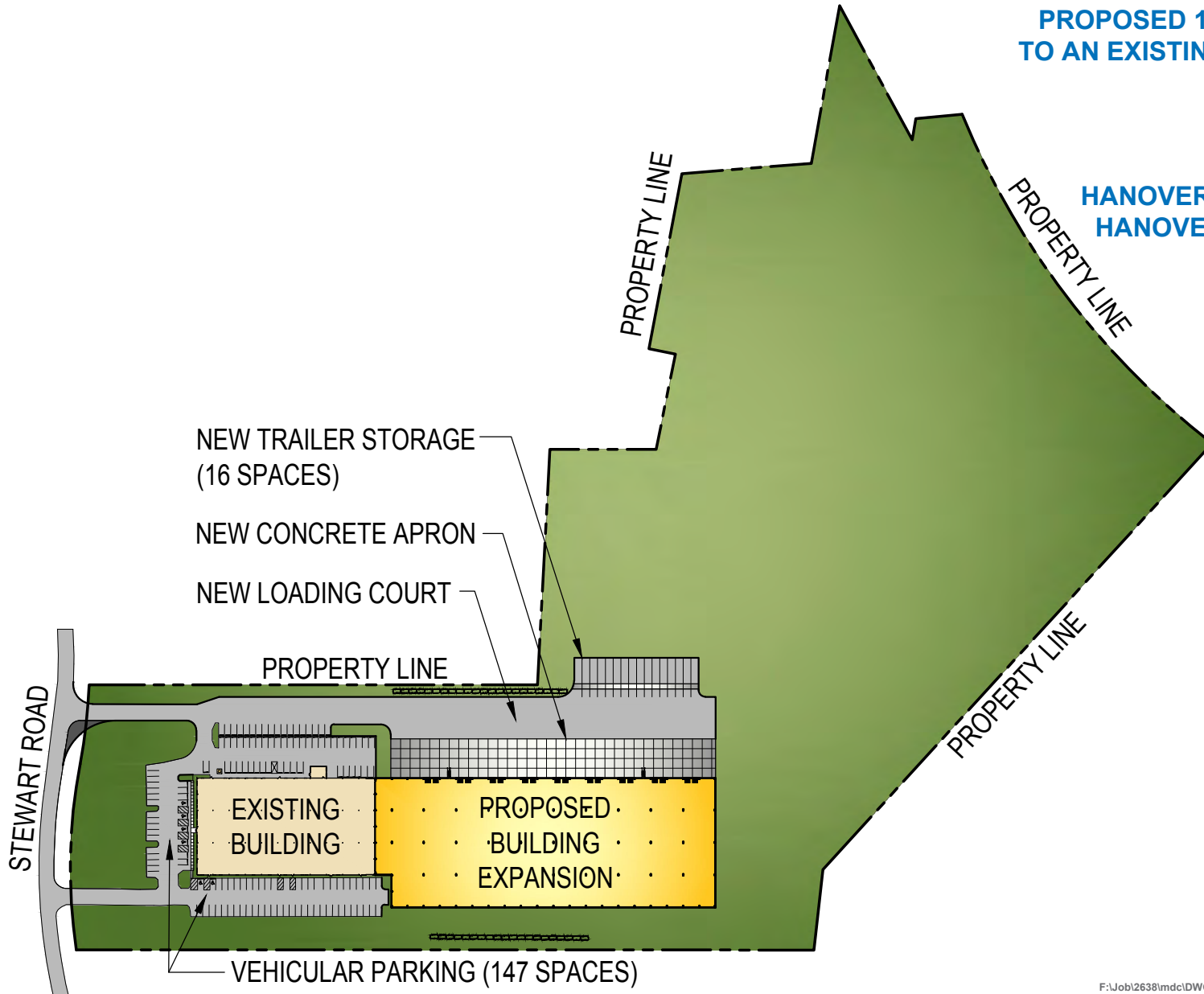




CONCEPTUAL SITE PLAN

PROPOSED 103,750 S.F. EXPANSION
TO AN EXISTING 53,040 S.F. BUILDING

400 STEWART ROAD
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA 18706



These plans have been prepared solely for
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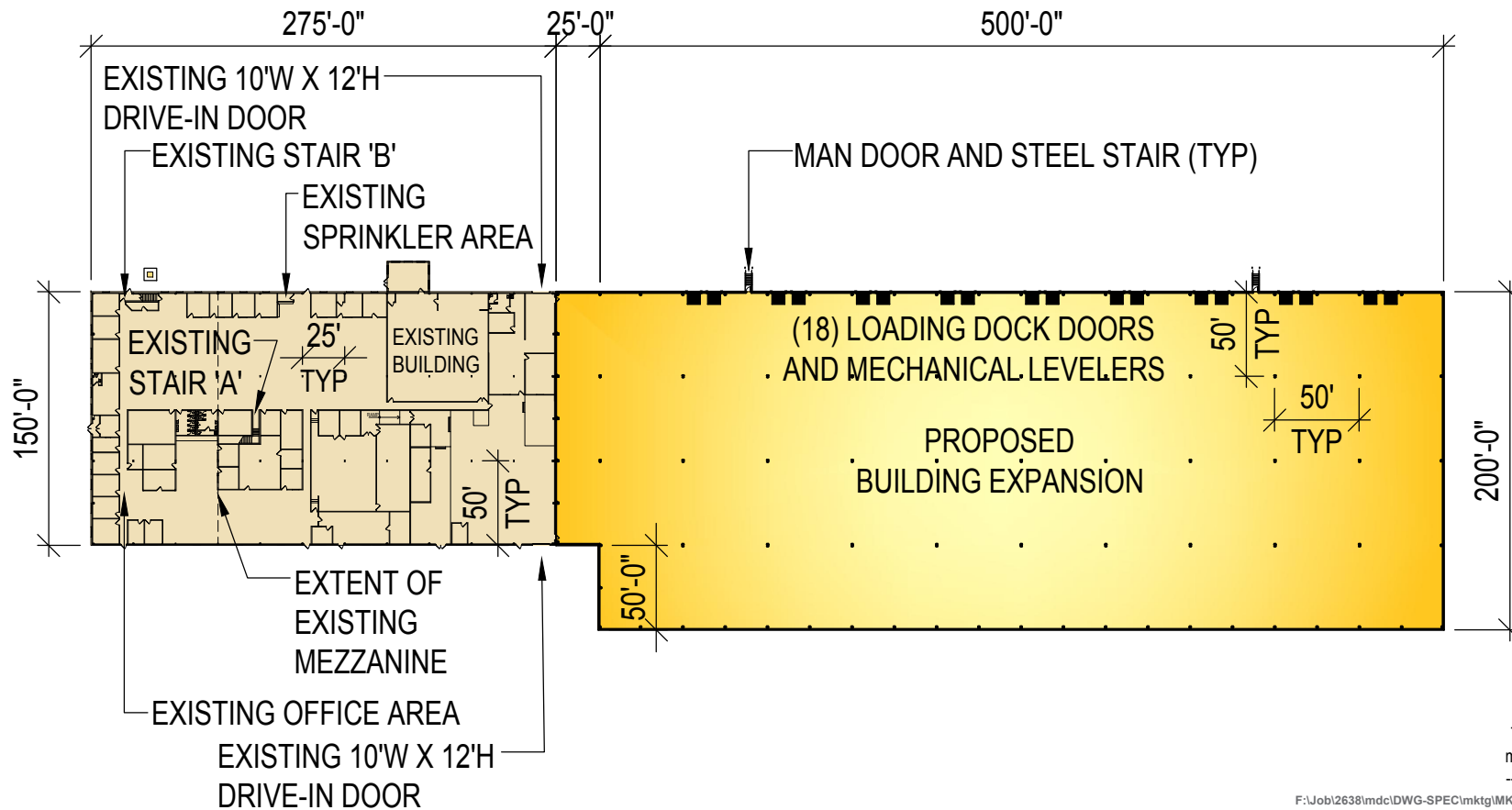
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

CONCEPTUAL BUILDING PLAN

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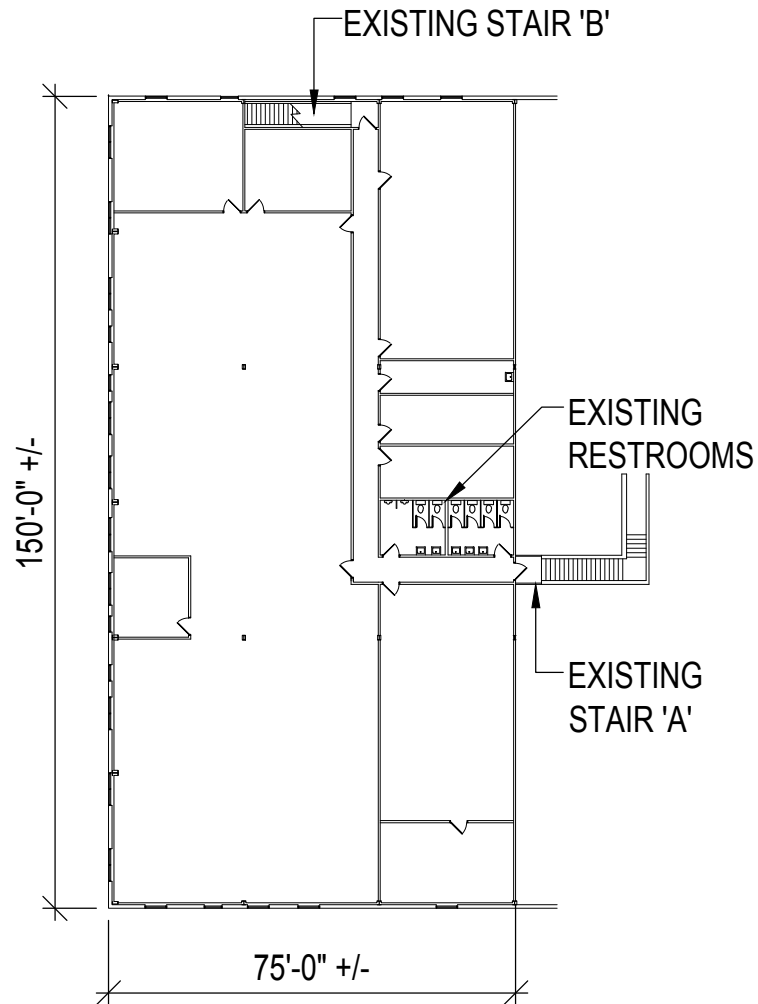
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CONCEPTUAL OFFICE PLAN

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EXISTING MEZZANINE PLAN

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SPECIFICATIONS

SITE IMPROVEMENTS

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