



**FOR
LEASE**

744,000 SF

**610 OAK RIDGE ROAD
HUMBOLDT INDUSTRIAL PARK
HAZLE TOWNSHIP, PA**

.....

INDUSTRIAL

**FEDERAL QUALIFIED
OPPORTUNITY ZONE (QOZ)
DESIGNATION**



CONSTRUCTION PROGRESS, OCTOBER 2023



RAIL-AVAILABLE INDUSTRIAL SITE NEAR I-81 AND I-80

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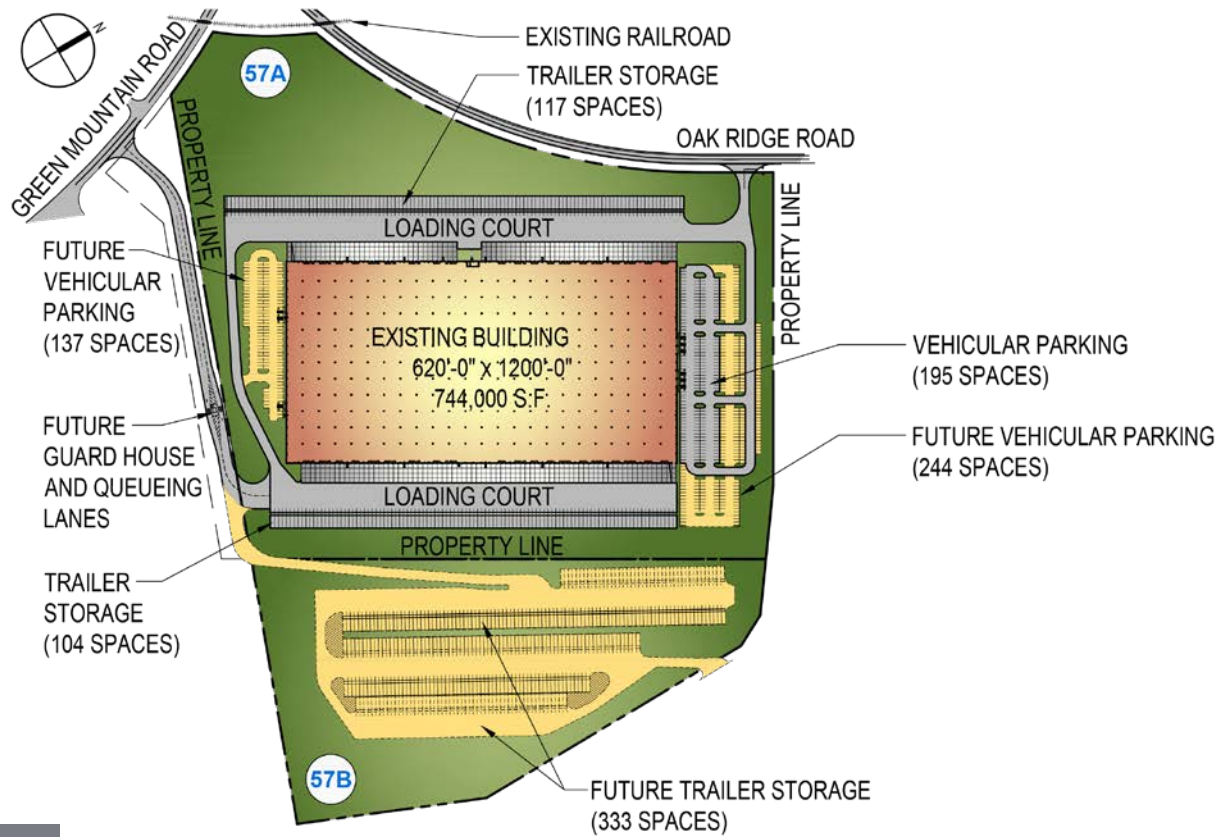
570.823.1100



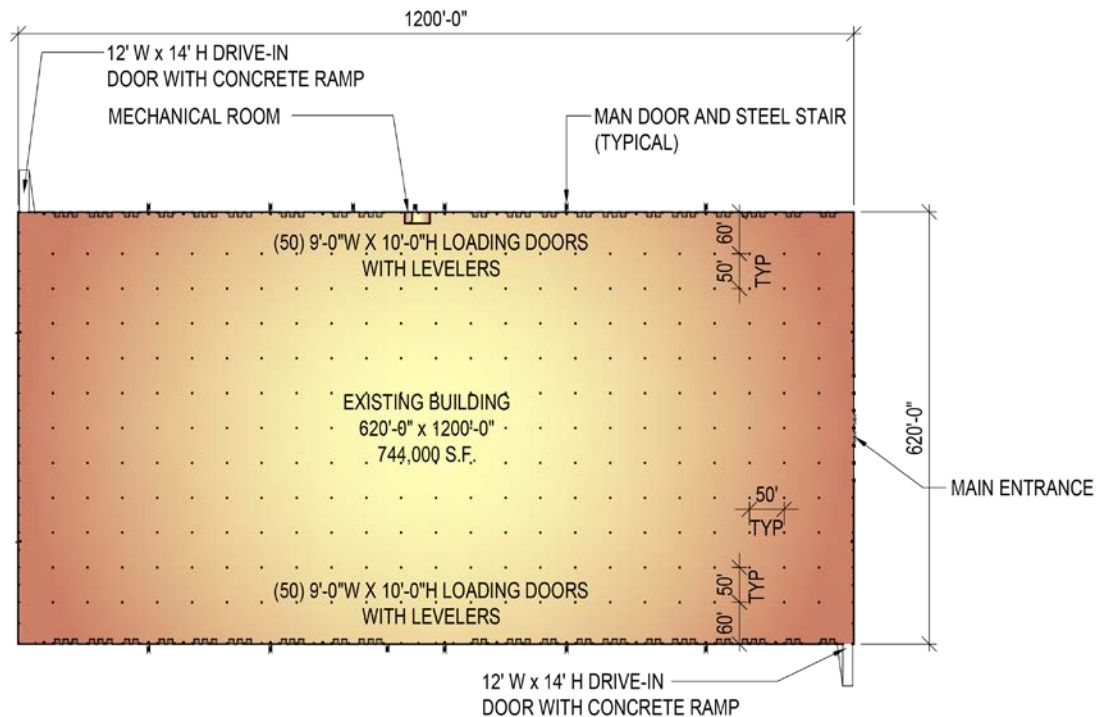
PLANS

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

SITE PLAN



FLOOR PLAN



FOR LEASE

610 OAK RIDGE ROAD, HAZLE TOWNSHIP, PA

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SPECS

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SIZE

- ▶ **AVAILABLE SPACE:** 744,000 SF
- ▶ **ACREAGE:** 54.08 acres
- ▶ **BUILDING DIMENSIONS:** 620'-0" (width) x 1200'-0" (length)

BUILDING CONSTRUCTION

- ▶ **FLOOR:** 7" thick concrete floor slab, reinforced w/welded steel mats. Floor is treated with *SpecHard* silicate sealer/densifier and *E-Cure* curing compound.
- ▶ **ROOF:** *Butler Manufacturing*, MR-24 standing seam.
- ▶ **EXTERIOR WALLS:** Architectural masonry, aluminum frame windows and insulated metal wall panels.
- ▶ **CLEAR CEILING HEIGHT:** 35'-3" approximate clear structural height at the first column in from loading dock wall
- ▶ **COLUMN SPACING:** 50' x 50' bay spacing with 60' loading bays.
- ▶ The building contains 3'-0" high x 6'-0" wide clerestory windows.

LOADING

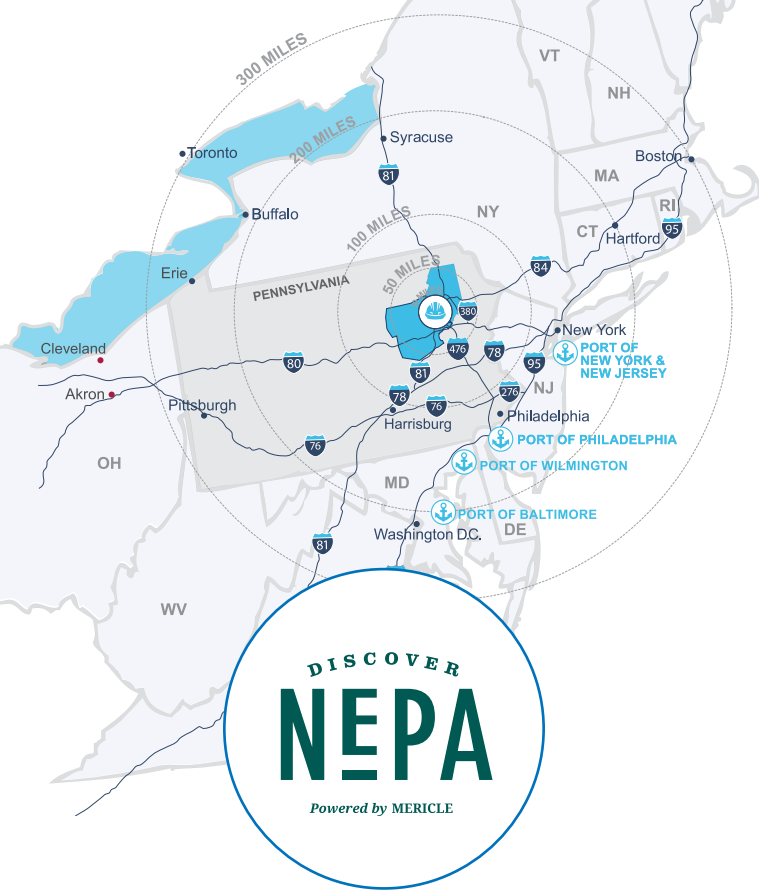
- ▶ **DOCK EQUIPMENT:** (100) 9'-0" x 10'-0" vertical-lift dock doors w/vision kits by *Haas Door* or equal w/40,000 LB capacity mechanical levelers with bumpers by *Rite-Hite* or equal.
- ▶ **DRIVE-IN DOOR:** (2) 12'-0" x 14'-0" vertical-lift drive-in doors by *Haas Door* or equal and reinforced concrete ramps.
- ▶ **DOCK APRON:** 8" thick x 60' deep, reinforced concrete apron at loading dock.

UTILITIES

- ▶ **WAREHOUSE HEATING:** Energy-efficient, roof mounted *Cambridge* direct-fire units.
- ▶ **WAREHOUSE LIGHTING:** Energy-efficient LED fixtures.
- ▶ **ELECTRICAL POWER:** Available up to multiples of 4,000 Amps
- ▶ **FIRE PROTECTION:** Early suppression fast response (ESFR) wet sprinkler system.
- ▶ **UTILITIES:** All utilities shall be separately metered.
- ▶ **ELECTRIC:** PPL Utilities
- ▶ **GAS:** UGI Utilities, Inc.
- ▶ **WATER:** CAN DO, Inc. Hazleton City Authority
- ▶ **SEWER:** CAN DO, Inc. Greater Hazleton Joint Sewer Authority
- ▶ **TELECOM:** Verizon and Frontier Communications serve the park.
- ▶ **RAIL:** Reading Blue Mountain & Northern Railroad

PARKING

- ▶ Asphalt paving, including heavy duty pave at truck areas and light duty pave in vehicle parking areas.
- ▶ On-site parking for approx. (195) vehicles with future parking for up to (381) additional spaces.
- ▶ On-site trailer storage for approx. (221) trailers w/8' wide concrete dolly pad.
- ▶ Adjacent lot (57B) can accommodate an additional (333) trailers.
- ▶ The trailer storage area shall have an 8' wide, 8" thick reinforced concrete dolly pad.



DISCOVER
NEPA

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Northeastern Pennsylvania (NEPA) is close to big cities, but features affordable living, safe neighborhoods, access to recreation, and the opportunity to be heard and make a difference.

Check out **DiscoverNEPA.com** (search "Hazleton") for events, shopping, dining, and many, many things to do!

Mericle is Northeastern Pennsylvania proud.

CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR



DEEP WATER PORTS

PORT

MI AWAY

Philadelphia, PA	108
Wilmington, DE	121
New York/New Jersey	130
Baltimore, MD	163



TRAVEL DISTANCES

CITY

Allentown, PA	55
Delaware Water Gap, PA	62
Harrisburg, PA	86
Philadelphia, PA	101
Binghamton, NY	107
Morristown, NJ	112
New York, NY	135
Baltimore, MD	153
Syracuse, NY	176
Washington, DC	201
Hartford, CT	234
Pittsburgh, PA	256
Boston, MA	338



Mericle, a Butler Builder®, is proud to be part of a network of building professionals dedicated to providing you the best construction for your needs.

BOB BESECKER, Vice President
bbesecker@mericle.com

JIM HILSHER, Vice President
jhilsher@mericle.com

BILL JONES, Vice President
bjones@mericle.com

To learn more, please call one of us at 570.823.1100 to request a proposal and/or arrange a tour.

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**PHOTO
COLLAGE**



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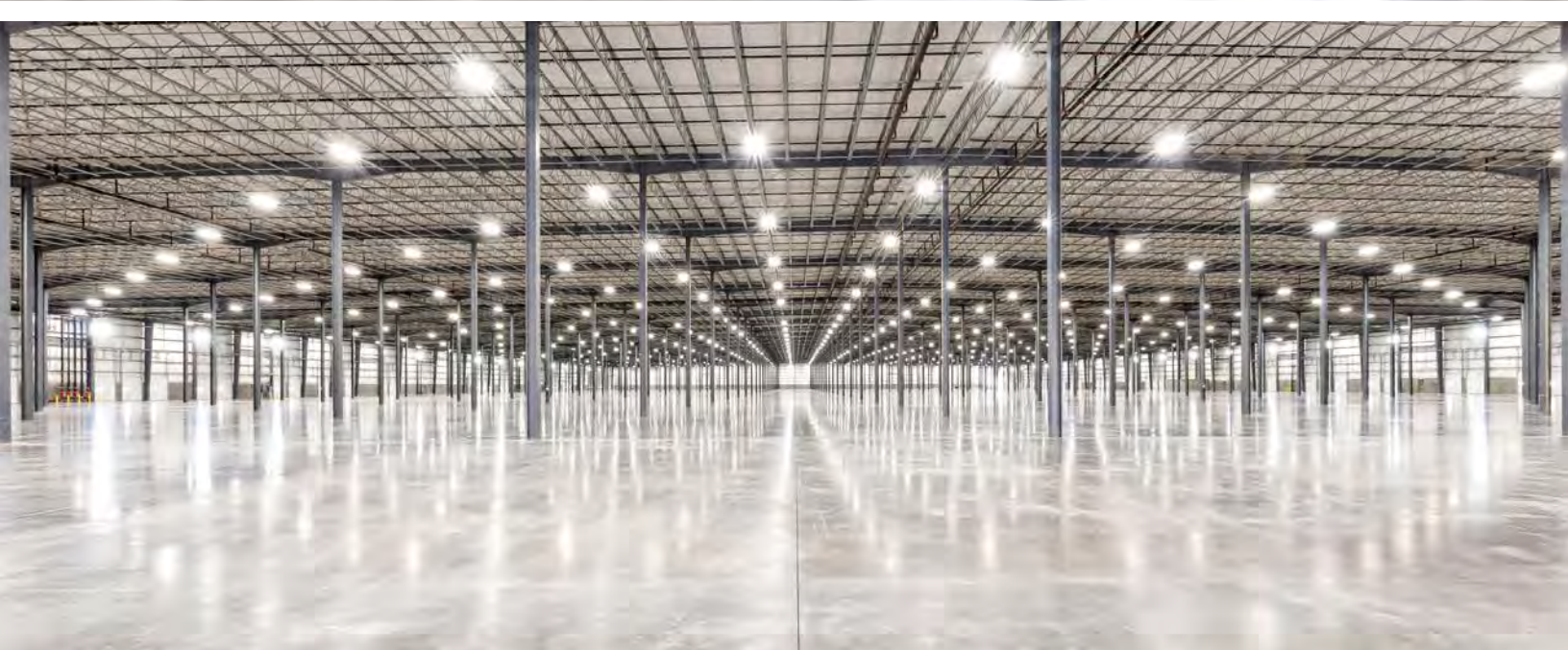
ADJACENT LOT (57B)
CAN ACCOMMODATE
AN ADDITIONAL

333
TRAILERS

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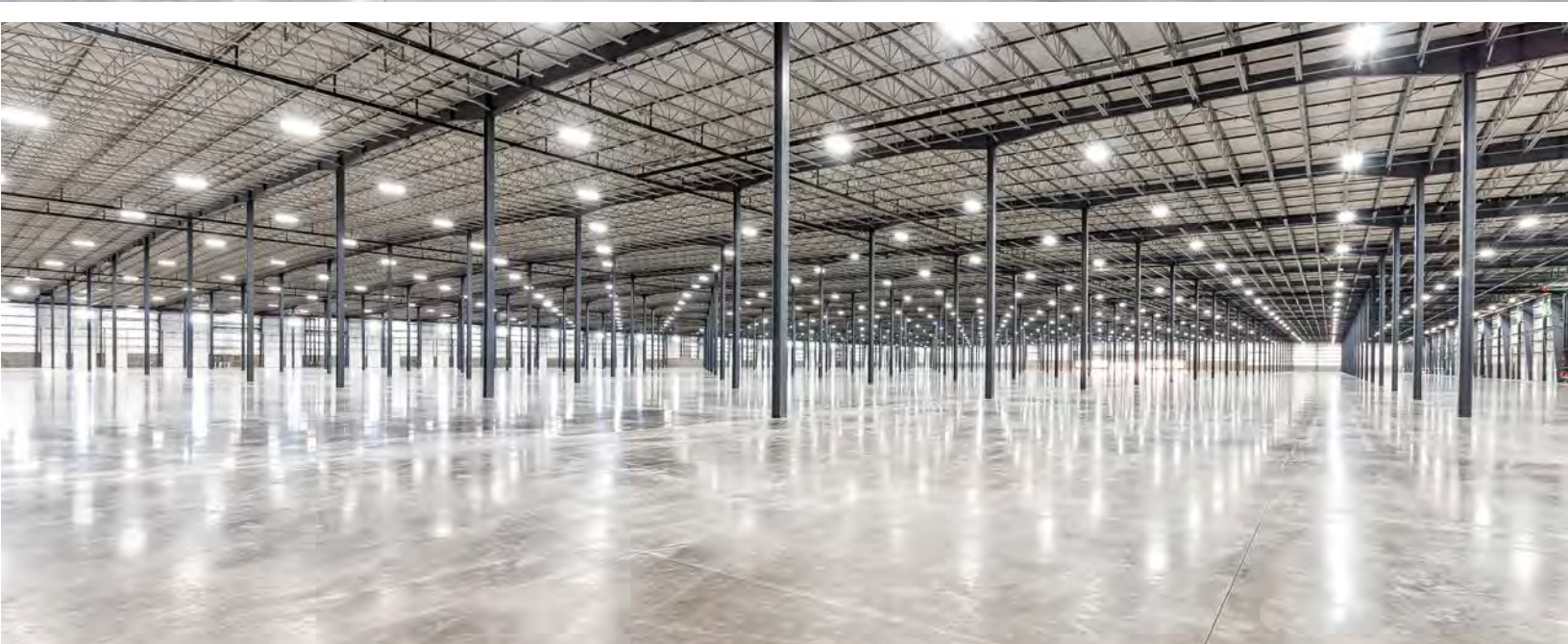
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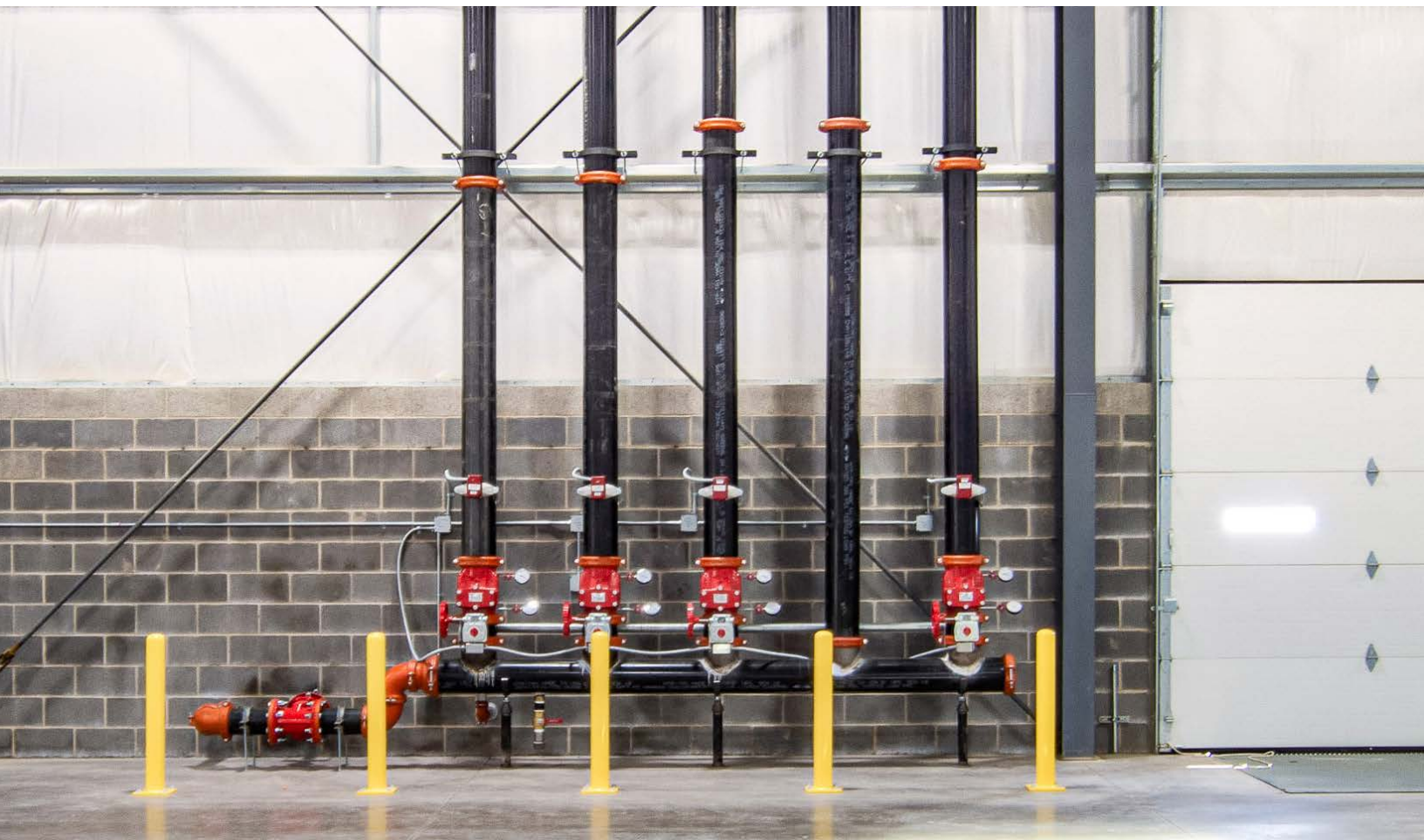
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BOB BESECKER, Vice President
bbesecker@mericle.com

JIM HILSHER, Vice President
jhilsher@mericle.com

BILL JONES, Vice President
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