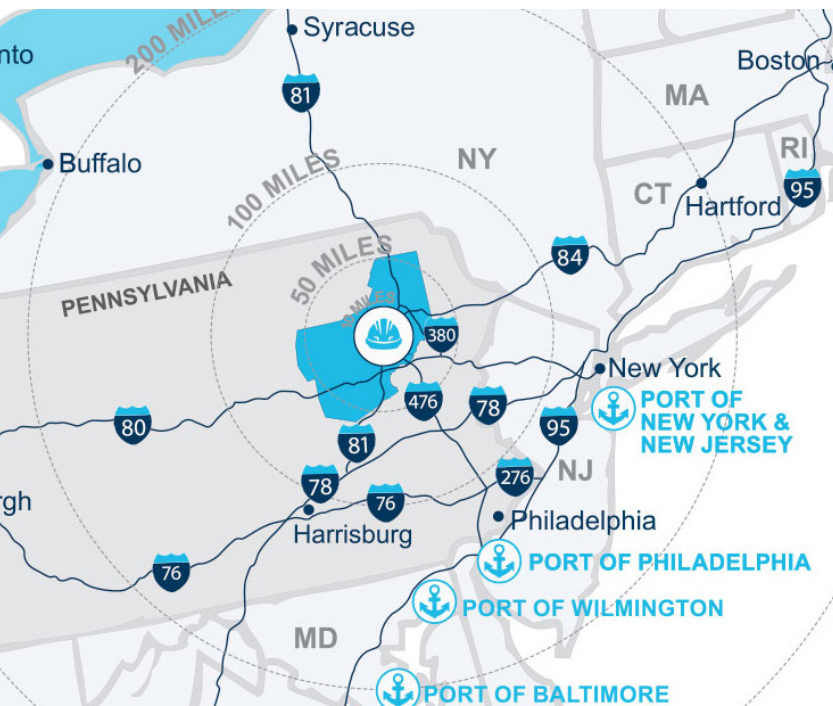


3,775 SF

190 WELLES STREET, SUITE 168-170
CROSS VALLEY WEST PROFESSIONAL BUILDING
FORTY-FORT, PA 18704



IMMEDIATE ACCESS TO CROSS VALLEY EXPRESSWAY!



DIRECTIONS TO CROSS VALLEY WEST PROFESSIONAL BUILDING:

TRAVELING NORTH ON ROUTE 309 – Take Exit 4 (Kingston/Forty Fort). Follow exit ramp to the right and merge onto Rutter Ave. Keep left at the fork. Continue through the intersection onto Welles Street. The entrance to the building will be on your right.

TRAVELING SOUTH ON ROUTE 309 – Take Exit 5 (Kingston/Forty Fort). Turn left onto Wyoming Avenue. Proceed approximately 1/4 mile and turn right onto Welles Street. Proceed another 1/4 of mile and the entrance to the building will be on your left.

To learn more, please call Mericle's Leasing Team at **570.823.1100** to request a proposal and/or arrange a tour.



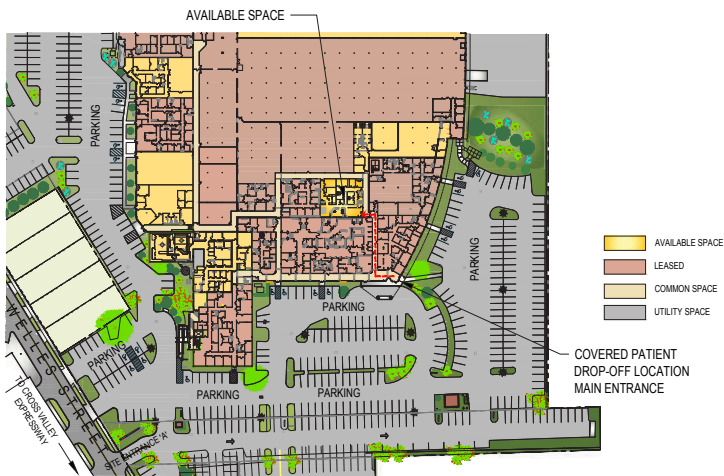
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Vice President
jhilsher@mericle.com

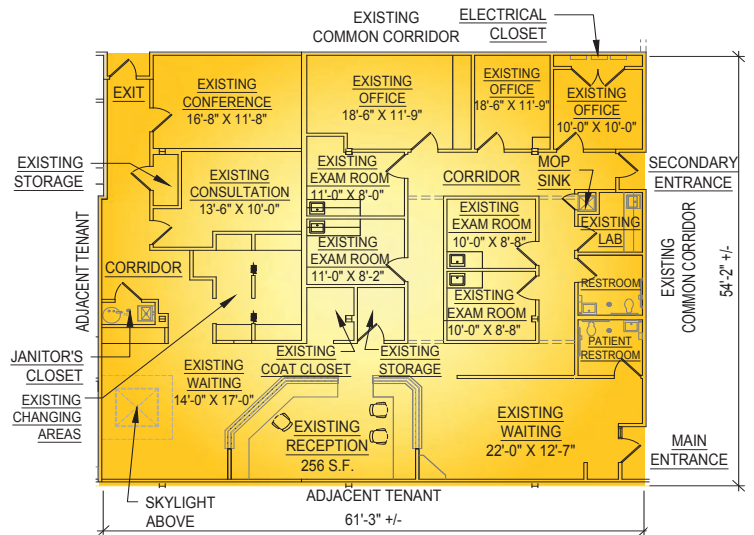
BILL JONES
Vice President
bjones@mericle.com

SITE SPECIFICATIONS

SITE PLAN



FLOOR PLAN



SITE IMPROVEMENTS

- Ample parking spaces available.
- Asphalt paved parking lot with professionally maintained landscaping.
- Sign locations available at street entrance monument sign, building exterior and building interior.

BUILDING IMPROVEMENTS

- Building contains 381,881 S.F.
- Available space is 3,775 S.F. of finished office space.
- Available space is accessed by an existing, interior corridor.
- Building exterior wall construction is a combination of brick masonry, exterior insulated finishing system, and thermally-broken, aluminum frame, and insulated glass windows.
- Available space has an existing acoustical suspended ceiling system at typically 9'-0" above finish floor, typical, with a 4' x 4' pyramydial skylight in the Waiting Area.
- The available space has a 256 S.F. Reception Area with custom-built cabinetry.
- The existing space has (2) Waiting Areas, one of which contains an ADA accessible Patient Restroom.
- Existing specialty equipment includes custom made cabinetry in exam rooms with stainless steel sinks, and built-in benches in changing rooms.
- The available space contains a mixture of upgraded finishes including; carpeting, specialty ceiling tile, and wallpaper.
- Interior doors are solid-core, oak veneer, flush wood doors with clear poly finish, including a full glass entry door to suite.
- Available space has existing general lighting with 2 x 4 fluorescent troffer fixtures with prismatic lenses, with special 2 x 4 fluorescent troffers with parabolic lenses in the Reception Area, Waiting Rooms, Corridors, and Doctor's Office.
- Available space has an existing 200 amp 208/120 volt 3- phase, electrical service.
- Available space has heating, cooling, and ventilation supplied by two (2) electric/gas roof top packaged units. designed for 1-ton per 400 S.F
- Available space has an existing, Light Hazard, sprinkler system.
- Provisions for domestic water and natural gas provided.
- All utilities shall be separately metered.

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.









EXISTING SITE PLAN

AVAILABLE SPACE

AVAILABLE 3,775 SF MEDICAL CLINIC FACILITY
WITHIN AN EXISTING 381,881 SF BUILDING

SUITE 168-170
190 WELLES STREET
CROSS VALLEY WEST
PROFESSIONAL BUILDING
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- AVAILABLE SPACE
- LEASED
- COMMON SPACE
- UTILITY SPACE

COVERED PATIENT
DROP-OFF LOCATION
MAIN ENTRANCE

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marketing purposes for the exclusive use of
-- Mericle Commercial Real Estate Services

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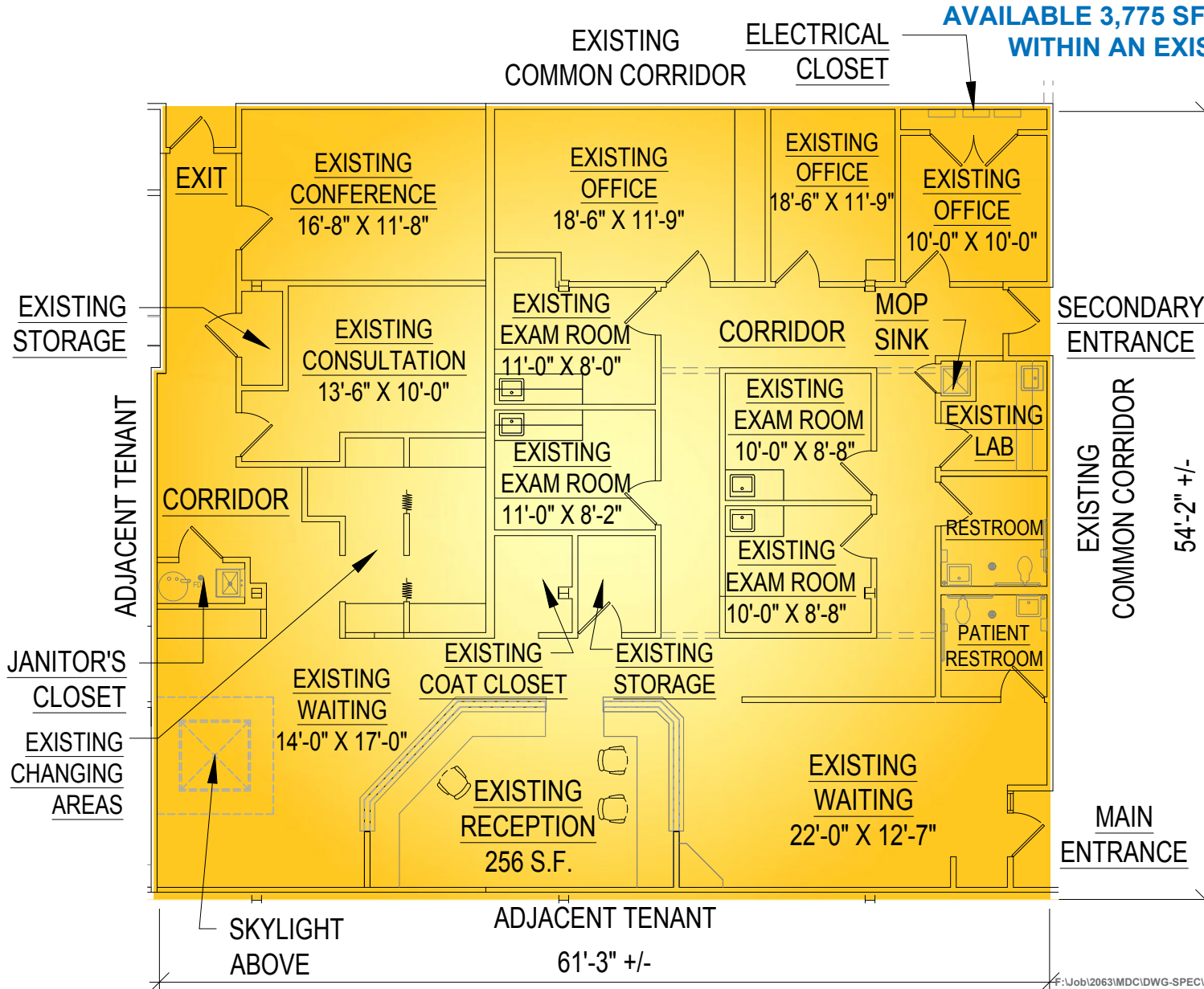
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

EXISTING SITE PLAN

**AVAILABLE 3,775 SF MEDICAL CLINIC FACILITY
WITHIN AN EXISTING 381,881 SF BUILDING**

**SUITE 168-170
190 WELLES STREET
CROSS VALLEY WEST
PROFESSIONAL BUILDING
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mericle.com



East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702

Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

SPECIFICATIONS

SITE IMPROVEMENTS

- Ample parking spaces available.
- Asphalt paved parking lot with professionally maintained landscaping.
- Sign locations available at street entrance monument sign, building exterior and building interior.
- Access to interior corridor via covered patient drop-off area available.

**AVAILABLE 3,775 SF MEDICAL CLINIC FACILITY
WITHIN AN EXISTING 381,881 SF BUILDING**

BUILDING IMPROVEMENTS

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